

PLACER VINEYARDS

Draft Placer Vineyards Specific Plan Placer County, California

Draft - March 2006



EDAW

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PLACER VINEYARDS

Draft Specific Plan
Placer County, California

EXECUTIVE SUMMARY



The Placer County General Plan and the Dry Creek/ West Placer Community Plan require the preparation of this Specific Plan to allow development of this area west of Walerga Road. Exhibit 1 to the General Plan designates Placer Vineyards as the “West Placer Specific Plan Area”, subject to various development standards. The Placer Vineyards Specific Plan is intended to provide a mechanism to ensure that the entire 5,230 acre Plan Area will be comprehensively planned.

The policies and guidelines contained in this Specific Plan and the adoption of this Specific Plan represent the first step in the approval process. This Specific Plan outlines future steps and approvals that will be required before development in the Plan Area occurs. It addresses land use, the sequencing of development and implementation measures that will ensure public infrastructure and implementation of services occur concurrently with new development.

Build-out of the Plan Area is anticipated to occur over a 20- to 30- year period. This Specific Plan attempts to balance the need for a coherent long-term vision with the equally important need to provide flexibility to accommodate changes in community needs, as well as, environmental regulations; to address specific site conditions; to simplify the review and implementation process by Placer County; and to accommodate other factors that will influence development during the build-out of the Plan Area.

In addition to the requirement that the Specific Plan conform to the Placer County General Plan and the directives of General Plan Exhibit 1, Placer Vineyards is designed to be a self-sufficient community, guided by the following design principles and associated plan actions (shown in italics).

1. Promote a mixed use, compact development pattern linked to regional transportation systems.

Placer Vineyards is planned to accommodate the long term growth needs of the County by establishing a series of concentrated urban centers and a mix of residential neighborhood developments, uniquely situated around public amenities, employment, housing, shopping, recreational uses and multiple transportation options. The Plan Area will be connected through a regional bus rapid transit system and transfer station and a system of on- and off-street trails, linked to the regional trail system.

2. Create a livable, pedestrian friendly environment with a distinct community identity and sense of place. Create safe and accessible links between neighborhoods, centers and districts within the Plan Area and the surrounding community.

Placer Vineyards is designed to provide schools, parks, public facilities, and urban centers as focal points for its neighborhoods and communities, with emphasis on pedestrian access and activity at these facilities. Homes are encouraged to front onto pedestrian sidewalks; retail areas are encouraged to extend into the pedestrian realm to create vital environments.

A Town Center, two village centers and several neighborhood centers provide a mix of uses, designed to complement the needs of and activities within the community. A large regional commercial corridor is strategically located along Baseline Road for maximum visibility and to provide buffers to residential developments to the south.

3. Provide a diversity of housing choices – types, styles, densities and costs.

The Plan encourages the provision of a range of housing choices, types, styles and densities to accommodate all income levels. Development standards are flexible to accommodate a wide array of housing types. The goal is to encourage new and creative development forms, especially in high density residential areas and mixed-use centers.

4. Provide a range of transportation choices including streets, paths and trails, with links to local and regional transportation systems.

Placer Vineyards is designed to be a transit-friendly community with easy access from residential neighborhoods to a range of transportation facilities, including a community transit center linked to the regional bus rapid transit system; a grid of streets; and a continuous network of shaded sidewalks and bikeway trails that loop through neighborhood centers, schools, and parks, and provide access to other modes of transit.



CHAPTER I: INTRODUCTION



1.1 PURPOSE

The Placer Vineyards Specific Plan is a guide for the future urban growth and development in southwest Placer County. This Specific Plan will define a comprehensive set of policies to govern urban development in the Placer Vineyards Specific Plan Area, henceforth called “Plan Area”.

Placer Vineyards is envisioned as a new urban community with a mix of residential, employment, school, and recreational uses. This Specific Plan sets policies for both on-site as well as off-site permanent preservation of significant natural resources and open space. It provides mechanisms for the implementation of public services and utilities and encourages the creation of cultural and educational community spaces. Placer Vineyards is guided by the following objectives:

- ♦ Protect and enhance the highest quality natural features and resources of the site and provide transitional buffers sensitive to the character of adjacent land uses.
- ♦ Promote compact mixed-use development that strives to provide a balance of uses, diverse housing and transportation choices and contributes to a jobs to housing balance within the region.
- ♦ Establish a pedestrian friendly community and access to a regional system of trails that link neighborhoods together.
- ♦ Develop a series of districts with their own unique site identity with urban centers, neighborhoods and community serving facilities (schools, parks and public amenities).

The Specific Plan and subsequent entitlement process is consistent with the goals and policies identified by the Placer County General Plan and allows for a sequence of community input and government review to ensure that development occurs in a logical, consistent and timely manner.

1.2 PROJECT LOCATION AND CONTEXT

Placer Vineyards includes approximately 5,230 acres of land located in the southwest corner of Placer County, approximately 15 miles north of the City of Sacramento (See Figure 1-1). The Plan Area is bound to the north by Baseline Road; to the south by the Sacramento County line; to the west by the Sutter County line and Pleasant Grove Road; and to the east by the Dry Creek Parkway and Walerga Road (See Figure 1-2). The major roads serving the Plan Area, Baseline Road, Watt Avenue and Walerga Road, are projected to be future thoroughfares. A number of smaller country roads and unpaved

two lane roads traverse north-south through the Plan Area. A major electrical power line easement traverses east-west. Two smaller electrical power easements traverse north-south.

The land is primarily flat and has gently rolling terrain that slopes primarily southwest and partially towards Dry Creek. A number of small creeks and wetlands are also dispersed throughout the site. The land consists mostly of undeveloped grazing and agricultural land with approximately 150 residences located in the Special Planning Area, concentrated in the northwest corner of the Plan Area, known as Riego. A number of home occupation/ ancillary uses are located throughout the rural residential areas. A mini-storage facility is located on Pleasant Grove Road at the southwest corner of the Plan Area. There are also a few commercial uses northwest of the Plan Area, including a convenience store, and service commercial uses (trucking operation and boat/ RV storage). An abandoned portion of the Union Pacific Railroad traverses the western portion of the Plan Area.

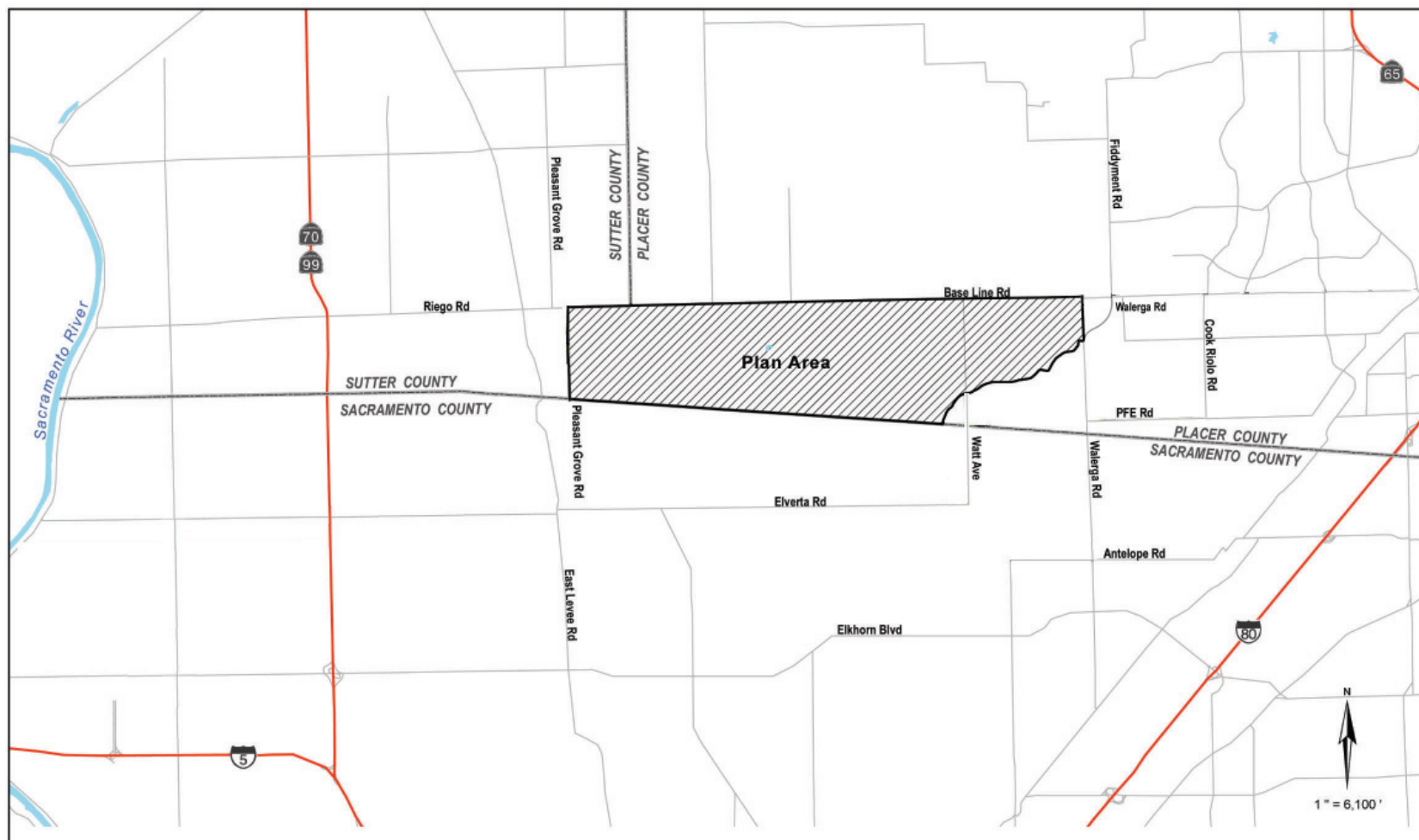
Primary land use in the area has historically been agriculture with rice lands, vineyards, orchards, grazing land and areas devoted to field crops. In some areas the land has lain fallow for several years. The Plan Area also contains a number of small tree groves and isolated Oaks stands, primarily along the southern border adjacent to the Dry Creek Parkway and existing Dyer Lane.

Neighboring land uses in the area consist of agricultural grazing land, farming, and large lot rural residential uses. Urban development pressures are also found nearby in adjacent Sacramento County within the communities of Antelope, Rio Linda and Elverta. Roseville continues to see growth occur east of Walerga Road and north of Baseline Road. Refer to Figure 1-3 for a map of planning areas and projects surrounding the Placer Vineyards Plan Area.



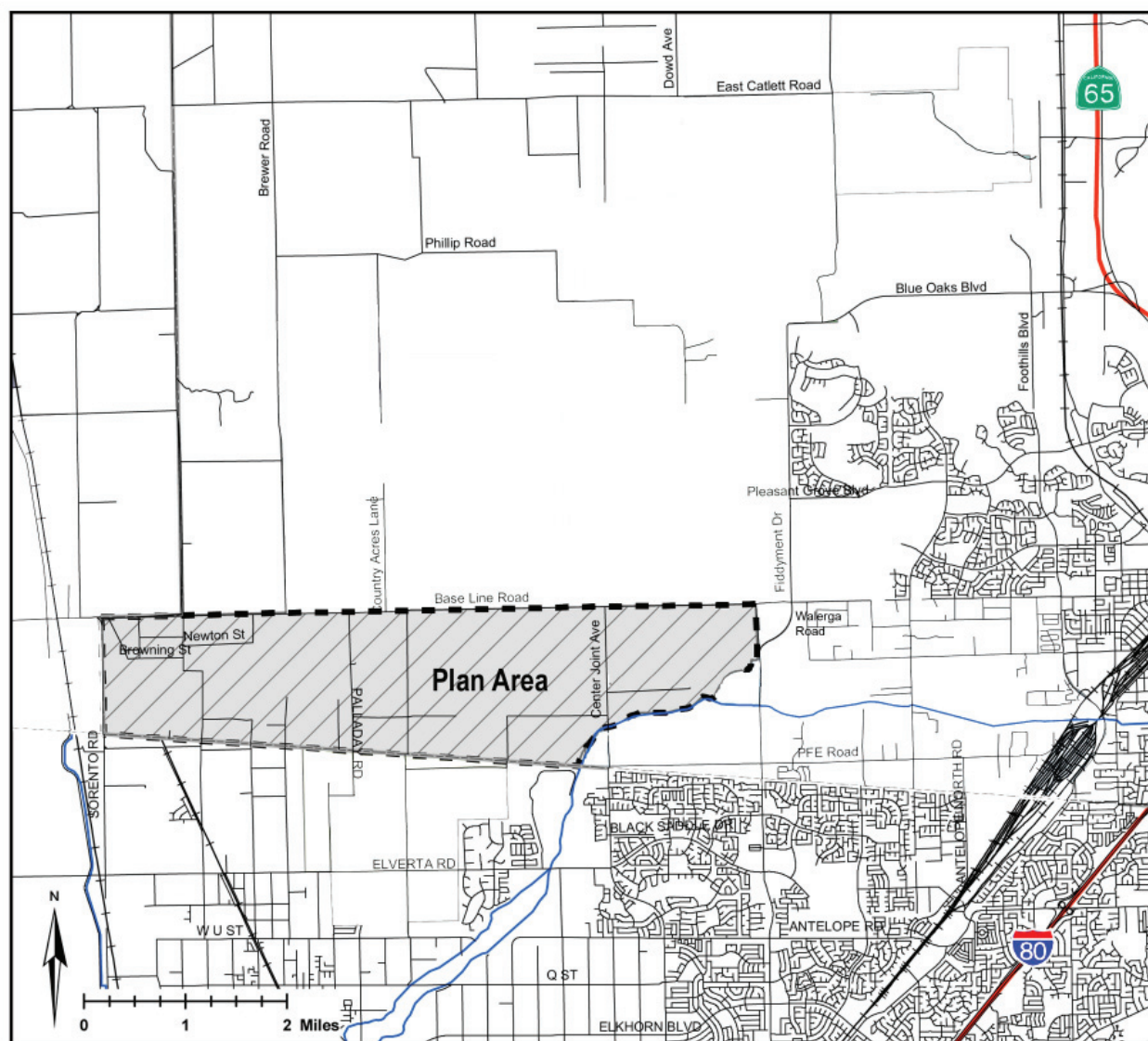
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Figure 1.1 Placer Vineyards Regional Context



Source: Quad Knopf, 2005

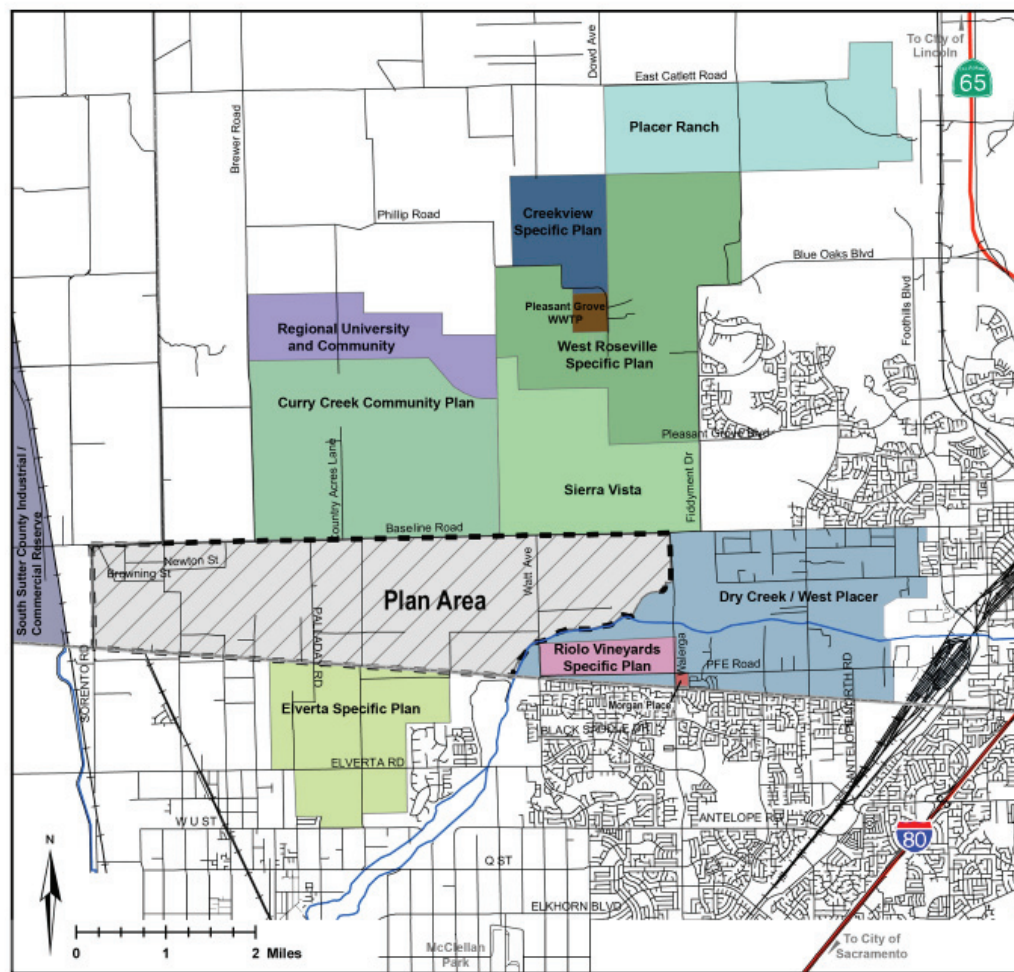
Figure 1.2 Placer Vineyards Site Location



Source: Placer County Planning Dept., 2001 / Sacramento Planning Dept., 2002 / Quad Knopf, 2005

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Figure 1.3 Proposed Development Surrounding Placer Vineyards



Source: Placer County Planning Dept., 2001 / Sacramento Planning Dept., 2002 / Quad Knopf, 2005

1.3 PROJECT BACKGROUND

The Placer Vineyards Property Owners Group, 24 property owners controlling approximately 4,250 acres or 81% of the 5,230 acre Plan Area, initiated the preparation of the first Draft Specific Plan. After a planning effort coordinated over five years, the first Draft Specific Plan was submitted to Placer County in December 1996. Subsequent revisions to the original Specific Plan include a public review draft of the Specific Plan, dated May 2003, prior to this current Specific Plan.

The remaining 19% of the Plan Area or approximately 979 acres consists almost entirely of land in the far western part of the Plan Area- known as the Riego area. These are mostly rural residential- agricultural parcels ranging in size from one to forty acres. While included in the Specific Plan Area, these rural residential lots will be governed under their existing land use and zoning classifications and are not limited or directed by the policies contained in this specific plan.

1.4 PURPOSE AND INTENT OF SPECIFIC PLAN

The Placer County General Plan directs the preparation of a Specific Plan to allow development of the Dry Creek-West Placer Community Plan Area with the intent that the entire 5,230 acre Placer Vineyards Specific Plan Area would be comprehensively planned. The Placer Vineyards Specific Plan sets forth regulations and programs which will carry out the goals and policies of the General Plan and ensure development is of the highest quality possible.

The Placer Vineyards Specific Plan addresses a comprehensive range of issues associated with the development of the Placer Vineyards Plan Area. This document is designed as a framework of policies, guidelines and standards which shall guide the build out of the Plan Area, expected to occur over a period of 20 years

1.5 LEGAL AUTHORITY

Placer County is authorized to adopt this Specific Plan following the provisions of California Planning and Land Use Law (Title 7, Chapter 3, Article 8 [Sections 65450 – 65457] of the California Government Code and of Section 17.58.200 of the Placer County Code. These provisions require that a specific plan be consistent with the adopted general plan of the jurisdiction in which the plan is located. All projects that follow within the Plan Area shall be consistent with this Specific Plan and the Placer County General Plan.

1.6 RELATIONSHIP TO OTHER DOCUMENTS

1.6.1 GENERAL PLAN AND COMMUNITY PLAN

The August 1994 Placer County General Plan identifies the Plan Area as appropriate for urbanization following adoption and implementation of a comprehensive Specific Plan. The Plan Area is currently designated “Urban” in the Placer County General Plan and in the Dry Creek/ West Placer Community Plan. A list of Development Standards, referred to in the General Plan as Exhibit 1, is also applicable to the Dry Creek/ West Placer Community Plan and this Specific Plan area.

General Plan Exhibit 1 envisions the 5,230-acre Plan Area as a mixed-use community including a maximum of 14,132 dwelling units. It also establishes 80 acres of commercial development, 160 acres of office and professional development, and 300 acres of professional/ light industrial development as approximate acreages for a mix of acceptable non-residential land uses and the following plan features.

- A. An urban form design concept that provides for two mixed-use, pedestrian-oriented villages buffered with lower densities and a larger Town Center.
- B. The Town Center will operate as the institutional and social focal point of the community and provide a central location for public and institutional uses.
- C. The village core areas are mixed-use commercial areas with neighborhood commercial uses and high-density residential uses.
- D. Commercial areas within the Town Center and villages shall enhance outdoor public gathering areas.
- E. Community open space should be contained in village greens and community parks that are connected with a greenbelt system.
- F. The Town Center and village core areas shall be planned and designed to be pedestrian-, bicycle, and transit-oriented.
- G. Commercial buildings with the ground floor oriented to pedestrians; street-level windows, numerous entries, arcades, porches, and balconies; retail shops and display areas; street orientation with parking to the rear; and varied building facades and covered walkways.
- H. A mix of residential types with densities radiating outward from the village core areas.

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- I. Existing and proposed stream and riparian areas, utility easements, and other such features should be incorporated into the open space corridors for the community.
- J. Roadway corridors shall be designed as landscape corridors including separate bicycle and pedestrian facilities.

1.6.2 ENVIRONMENTAL IMPACT REPORT (EIR)

In conjunction with the Specific Plan, an Environmental Impact Report (EIR) has been prepared to study the environmental impacts the project may create. Some of the elements analyzed in the Environmental Impact Report are population, traffic, schools, fire protection, plant and wildlife species and habitat, archaeological areas, plan alternatives and mitigation measures. The purpose, policy and detailed requirements of this Specific Plan will implement the mitigation measures contained in the EIR.

1.6.3 ZONING ORDINANCE

Existing zoning in the Placer Vineyards Specific Plan Area include the following:

F-B-X-D-R (Farming, Combining Development Reserve;
80 acre minimum parcel size)

I-N-UP-DR (Industrial, Combining Limited Use, Combining Development Reserve)

RA-B-X-DR (Residential Agricultural, Combining Development Reserve;
10 acre minimum parcel size)

FDR (Farming, Combining Development Reserve)

CI-DC-DR (Neighborhood Commercial, Combining Design Scenic Corridor, Combining Development Reserve).

The Placer Vineyards Specific Plan Area shall be rezoned with a new Specific Plan district (SPL) zoning. The SPL zone will be combined with the Specific Plan to function as the zoning text and map for the Plan Area (with the exception of the Special Planning Area). This rezoning is described in Chapter IX, "Implementation."

Relationship to Development Standards

The Development Standards presented in Appendix A will establish the zoning, land use, and development pattern for the Plan Area. The standards in this Specific Plan will amend and supplement the standards and land use designations found in Chapter 17 of the Placer County Zoning Ordinance. Standards or regulations that are not specified in this Specific Plan shall default to the Placer County Zoning Ordinance for the applicable provisions.

As an example, definitions for various land uses identified in the Placer County Zoning Ordinance shall be used as the basis for interpreting the land uses allowed in the Specific Plan. However, this Specific Plan may modify certain definitions or define additional land uses not found in the Zoning Ordinance. Changes or amendments made to the Development Standards shall follow Placer County procedures for amendments to the Zoning Ordinance, outlined in Chapter IX, "Implementation."

1.6.4 FINANCING PLAN

Concurrent with or shortly after the approval of the Specific Plan, the County Board of Supervisors may approve a Public Facilities Financing Plan. The Financing Plan shall identify the funding mechanisms required for the capital costs and maintenance of all infrastructure and public services necessary to accomplish Specific Plan build-out.

1.6.5 DEVELOPMENT AGREEMENT

Pursuant to Section 17.58.210 of the Placer County Code, upon the approval of the Specific Plan, the County will enter into Development Agreements with the Placer Vineyards property owners' group. Development agreements will set forth property owners' obligations related to the construction and financing of infrastructure including financial contributions for infrastructure maintenance, public services, and other obligations that may be imposed by the County as a condition for development. It will also provide property owners with certain vested development rights, subject to the conditions for development.

1.6.6 LARGE LOT TENTATIVE MAP

Simultaneously to or upon approval of the Specific Plan, large-lot tentative map(s) and large-lot final maps may be submitted for review and ultimately for recordation for all or a portion of the Plan Area. Large-lot maps shall show existing conditions and improvements to a property, including arterial and collector street rights-of-way, open space corridors, park and school sites, and the boundaries between different land use categories. Large-lot map(s) are intended, primarily for financial purposes, to establish the areas allocated to each land owner and the full range of land uses approved for the property. The individual parcel established by the recorded maps will be subject to subsequent grants of entitlement and, potentially environmental review. Reservations, grants, dedication and similar requirements for roads, utilities, and public uses may be required at the time of recordation of these maps.

1.6.7 DESIGN REVIEW

The purpose of the County's design review process is to ensure that the design of buildings constructed in the Specific Plan area is of high quality and to prevent new construction from adversely affecting the residential and business desirability of the immediate and nearby neighboring areas. All commercial, multi-family residential, and industrial development within the Specific Plan area will be subject to design guidelines/standards and will be subject to Design Review.

1.7 SPECIFIC PLAN ORGANIZATION

The Placer Vineyards Specific Plan consists of eight primary chapters described below and a supporting Appendix section:

Chapter I: Introduction

Presents the purpose, intent and project context of the Specific Plan.

Chapter II: Vision

Presents the project vision, guiding design and planning principles for Placer Vineyards and their specific application to the Placer Vineyards context.

Chapter III: Land Use

Sets the framework for the development of Placer Vineyards, providing information on land use regulations, allowable land use types, development standards and the intensity and density of development.

Chapter IV: Environmental Resources

Addresses the environmental conditions and sensitive resources on the site, including wetlands, special status species, oak and riparian woodlands, water quality and conservation, energy conservation and air quality and noise.

Chapter V: Transportation and Circulation

Describes the roadways, trails and transit system, modes of circulation, and provide standards and guidelines for their design within the Placer Vineyards site.

Chapter VI: Community Design

Sets the design standards for the elements that make up and will give identity to the Placer Vineyards community, including street and landscape corridors; gateways, signage and street lighting; activity centers; and neighborhoods.

Chapter VII: Parks and Open Space

Describes the parks, open space, and recreation system designed for the Placer Vineyards community.

Chapter VIII: Public Utilities and Services

Describes the backbone infrastructure systems (sewer, water, storm drainage, solid waste disposal, etc.) and community service facilities (schools, county services public safety, and other community facilities) necessary to serve the Plan Area.

Chapter IX: Implementation

Outlines the administration and implementation steps required to achieve the goals and regulations set forth in the Specific Plan.

Appendices:

The Appendices contain references that support and supplement information in the Specific Plan. They include:

Appendix A, "Land Use and Development Standards"

Appendix B, "Recommended Plant List"

Appendix C, "Traffic Intersection Analysis"

CHAPTER II: VISION



2.1 OVERVIEW

The Placer Vineyards Specific Plan will direct the construction of a comprehensively planned new community in southwestern Placer County. This community will connect to emerging developments in the city of Roseville and Sacramento County and will help define an urban character for this area. The individual elements and requirements of this plan all serve to fulfill this vision. The regional vision for Placer Vineyards is identified in this chapter while the details for how this vision shall be carried forward are contained in the chapters of the Specific Plan that follow.

2.2 PLACER VINEYARDS PLACE WITHIN THE REGIONAL PLANNING CONTEXT

Placer Vineyards is identified in the Dry Creek/ West Placer Community Plan, the Placer County General Plan, and the Sacramento Area Council of Governments' (SACOG's) adopted the Preferred Blueprint Scenario (the "SACOG Plan") as a new compact, self-sufficient community. The SACOG Plan is a regional vision to accommodate the longer term growth needs of the Sacramento region, as the region's current population of 2 million is forecasted to grow to more than 3.8 million people over the next 50 years. The SACOG Plan has been prepared to guide land use and transportation choices throughout the region. In the SACOG Plan, Placer Vineyards is one of the largest areas targeted for new urban growth in southwest Placer County. The SACOG Plan suggests that some 21,000+ well-planned new homes might be constructed in the Placer Vineyards Specific Plan Area.

Strategically located along Baseline Road and Watt Avenue, the Plan Area provides direct access to regional transportation systems and links the area to major employment centers in the region. Placer Vineyards is near existing employment centers in Roseville and Rocklin and emerging employment centers at the Sacramento International Airport and McClellan Park. Placer Vineyards is planned to permanently preserve on-site as well as off-site natural resources and open space by creating a higher intensity urban core, connected to transit and providing a broad range of housing choices, affordable to diverse income populations.

2.3 THE PLACER VINEYARDS PLAN

Envisioned as a compact, self-sufficient community, Placer Vineyards is comprehensively planned to include a mix of higher density residential neighborhoods, a central mixed-use Town Center, two mixed-use Village Centers, a commercial/employment corridor, parks, recreation facilities, schools, religious facilities, and a network of open space and protected riparian corridors.

Placer Vineyards is a place where the natural and urban landscapes are woven together to create a distinct community.

A network of shaded paths and trails weaves throughout the community along drainage corridors to connect residential neighborhoods to natural resources, community recreation facilities, schools and community centers.

As a transit-oriented community, Placer Vineyards will have a multimodal transportation network of roadways and bicycle and pedestrian trails that provide access throughout the community, to the larger regional trail system and to the regional bus rapid transit system on Watt Avenue. Smaller buses traverse throughout the community to connect residents to the Town Center, Village Centers, and community facilities.

The Town Center at Placer Vineyards, located at the heart of the community, provides a mix of retail shops, services, community facilities, and entertainment activities. The Town Center serves as the cultural and civic focal point for public life. Buildings with wide, shaded retail streets are clustered around a central Town Green. Residents and visitors casually stroll, shop, and eat at outdoor cafes, restaurants, and coffee shops. Within the Town Center are a community library, post office, a small civic office center and sheriff substation, and community recreation facility.

Two small village centers serve the surrounding neighborhoods, one on the east and a second on the west side of Placer Vineyards. The Village Centers are the focal point of the surrounding residential life. Designed as small, mixed-use nodes of activity, each Village Center provides wide shaded pedestrian-friendly streets, locally serving shops, services, offices, and residential uses. A small public plaza with street furniture and shade trees creates an inviting place for residents to enjoy outdoor public activities and social gatherings.

A Regional Commercial Corridor on Baseline Road that includes a strategically located Power Center at the southwest corner of Watt Avenue and Baseline Road provide regional services, employment, and a gathering place for the surrounding area communities.



VISION

Neighborhoods in Placer Vineyards are open, accessible, and inviting, offering a range of housing choices, types, styles, and densities for all income levels. Centrally located schools and parks serve as the focal point for each neighborhood with safe, shaded, tree-lined walkways and paths radiating out to surrounding residences.

Two large community parks provide for a range of organized recreational activities for Placer Vineyards. Located adjacent to the open space and community trail network, residents have easy and safe access (to walk, bike, and jog) between parks and community facilities throughout the community. Two Placer Vineyards oak grove natural areas, the Dry Creek Corridor and adjoining Gibson Ranch Park, provide a natural refuge from the urban fabric.

2.4 PROJECT SMART GROWTH PRINCIPLES

Rooted in an existing and regional community context, the planning and design vision for Placer Vineyards is grounded in the following principles of Smart Growth.

- ♦ Protect and enhance the highest quality natural features and resources on the site by incorporating native oaks, wetlands, creeks and drainage systems into a community-wide open space system. Provide transitional buffers sensitive to the character of adjacent land uses.
- ♦ Promote a mixed-use, compact development pattern linked to regional transportation systems.
- ♦ Create a livable, pedestrian-friendly, and safe environment with a distinct community identity and sense of place.
- ♦ Provide a diversity of housing choices— types, styles, densities, and costs.
- ♦ Provide a range of transportation choices including streets, paths, and trails, with links to local and regional transportation systems.
- ♦ Promote a balance of uses—housing, employment, schools, parks, recreation, and places to shop—that supports a balance of jobs to housing in the region.
- ♦ Create safe and accessible links between neighborhoods, centers, and districts within the Plan Area and to the surrounding community.

2.5 PLANNING AND DESIGN PRINCIPLES

Guided by the Smart Growth principles, the following planning and design principles are the overarching themes that establish the overall vision and physical framework for the Placer Vineyards Plan. These concepts will implement the Smart Growth and regional planning principles while recognizing the unique site and market conditions specific to Placer Vineyards. The community-wide elements and places of activity described below are depicted graphically on the following pages.

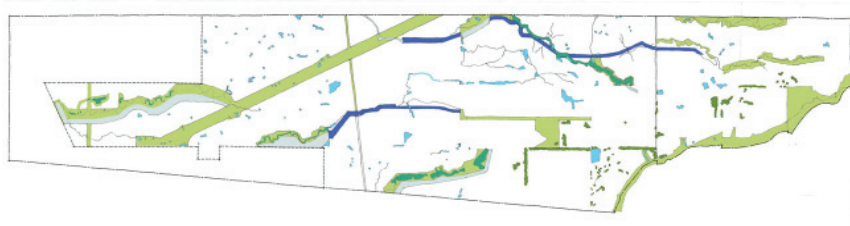
COMMUNITY-WIDE ELEMENTS

A. Natural Resources and Public Open Space

The natural resources and open space vision encourages wildlife and plant habitat preservation, promotes energy efficient design, water conservation and stormwater management and incorporates public open space (i.e., parks, town squares, trails, and greenbelts) for public recreation within the development.

1. Natural Resources

The natural landscape consists of the existing trees, wetlands, wildlife corridors, creeks, ponds, and other geological features on the site. Placer Vineyards is designed to permanently protect in open space the significant on-site riparian corridors, wetlands, and oak tree groves characteristic to the site, such as Dry Creek. Dry Creek is a rich, natural open space resource that provides a green edge to the southeast community. As an element of Specific Plan implementation, Placer Vineyards will also provide off-site wetland mitigation, preserving large off-site open space preserves, located away from urban edge conditions.



2. Public Open Space Network

The open space system describes the system of parks, recreational areas, on-site drainage ways, and storm retention areas connected together by a network of trails and paths. The open space system integrates existing wetlands, drainage ways, spaces under power line easements, significant on-site oak groves, and the Dry Creek riparian corridor into an enhanced system of on-site drainage, storm retention areas, and recreational areas. This communitywide open space greenway system generally runs east-west, linking neighborhoods and special districts together throughout the community.



Figure 2.1 View of Open Space Corridor

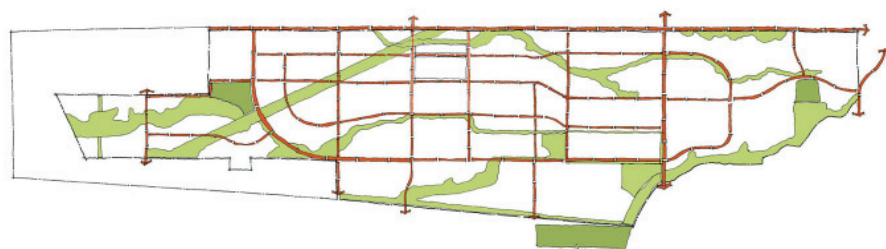


B. Transportation Choices

Developments designed around Smart Growth principles provide opportunities that encourage people to choose other modes of transportation—to sometimes walk, ride bicycles, ride the bus or light rail (if available), and to carpool.

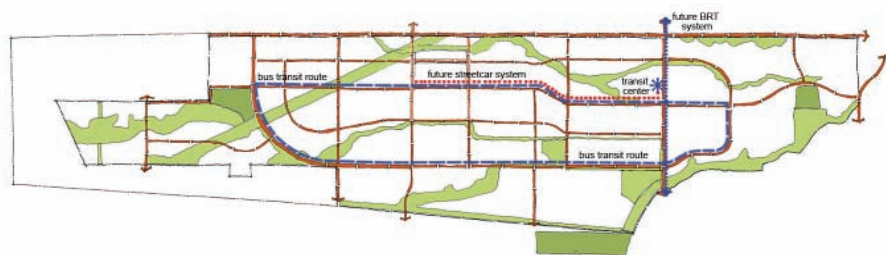
3. Grid of Streets

In Placer Vineyards, a network of major roadways, arranged as a grid of streets, provides efficient access and circulation for residents, shoppers, and workers. The north/south street system and circulation connections discontinue and terminate at major arterial roads, at parks, or at open space corridors. Roadways provide safe connections shared by cars, buses, bicyclists, and pedestrians.



4. Transit Linkages

Alternative modes of transportation are integrated into the circulation system. The Specific Plan includes the provision of right-of-way for a future regional bus rapid transit system along Watt Avenue. East Town Center Drive will reserve right-of-way for a future trolley system internal to Placer Vineyards. Routes for smaller buses will traverse the community to connect residents to the Town Center, village centers, and community facilities.



5. Connecting Trails and Paths

Pedestrian and bicycle paths and routes are integrated into the community-wide open space and street system. The roadways, greenways, and trails run parallel to each other and connect the major centers of the community.



6. Designed Landscapes

The designed landscape defines the form and character of the public realm: streetscapes along street corridors, gateways, entries, and landscape buffers and public spaces. The landscape design of the public realm provides a continuous visual thread that ties the community together under a common “green” framework, establishing the Placer Vineyards identity and community character.

Figure 2.2 View of Dryer Lane Greenway through Oak Grove Corridor



PLACES OF ACTIVITY

C. Quality Community Planning and Design

The Smart Growth principles of mixed-use/ compact development, jobs/ housing balance and livability are addressed through the nature and design of the land use plan. Homes, shops, offices and entertainment places built near each other can create active, vital neighborhoods.

Project examples in Placer Vineyards include housing located near regional employment centers, small shopping centers in residential neighborhoods, and buildings with ground-floor retail and apartments or condominiums on the upper floors. These projects function as local activity centers, contributing to a sense of community, where people interact more with each other and tend to walk, bike, or ride the bus.

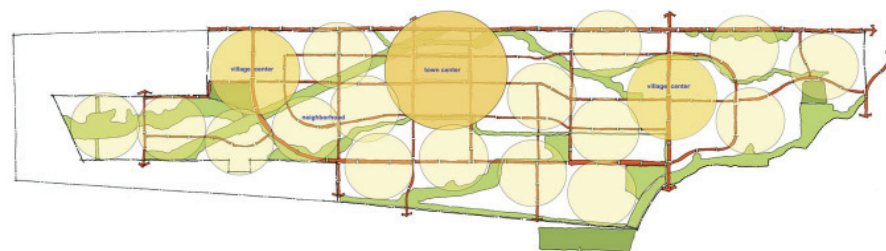
7. Town and Village Centers

A series of strategically located urban centers—the Town Center, East Village Center, and West Village Center—are located convenient to all neighborhoods in the Plan Area. Adjacent to higher density residential neighborhoods, the centrally located Town Center provides a mix of uses serving both regional and local market demands.

The two village centers are smaller local commercial nodes of activity containing a diversity and mix of uses, housing types and densities, commercial and employment uses, public and quasi-public uses, and open space, all within a short walking distance of surrounding neighborhoods.

8. Regional Commercial Corridor

Strategically located along Baseline Road, a regional commercial corridor and Power Center link the Placer Vineyards community to the larger regional community. These commercial centers—retailers, offices, power centers, and business parks along Baseline Road—are regional service providers and employment centers that are conveniently located along the Watt Avenue bus rapid transit corridor for easy and convenient regional transit access.



The Smart Growth principles of livable, pedestrian friendly neighborhoods, housing choice and diversity are all addressed in the Placer Vineyards Community Planning vision.

Providing a variety of places where people can choose to live—apartments, townhomes, and single-family detached homes on varying lot sizes—creates opportunities for the variety of people who need them, including families, singles, seniors, and people with special needs.

9. Distinct Neighborhoods Anchored by Public Spaces

Placer Vineyards is organized as an assembly of distinct neighborhoods, each designed with its own character and unique sense of place. A range of housing types and densities within each residential neighborhood provide housing choices and flexibility to meet market demands. Neighborhoods are anchored with community-serving facilities, such as schools, parks, churches, and community centers within a quarter-mile walking distance of surrounding residences.

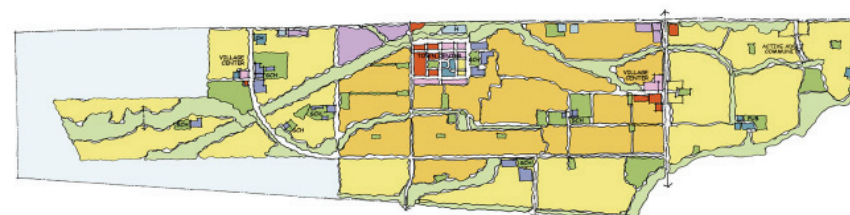
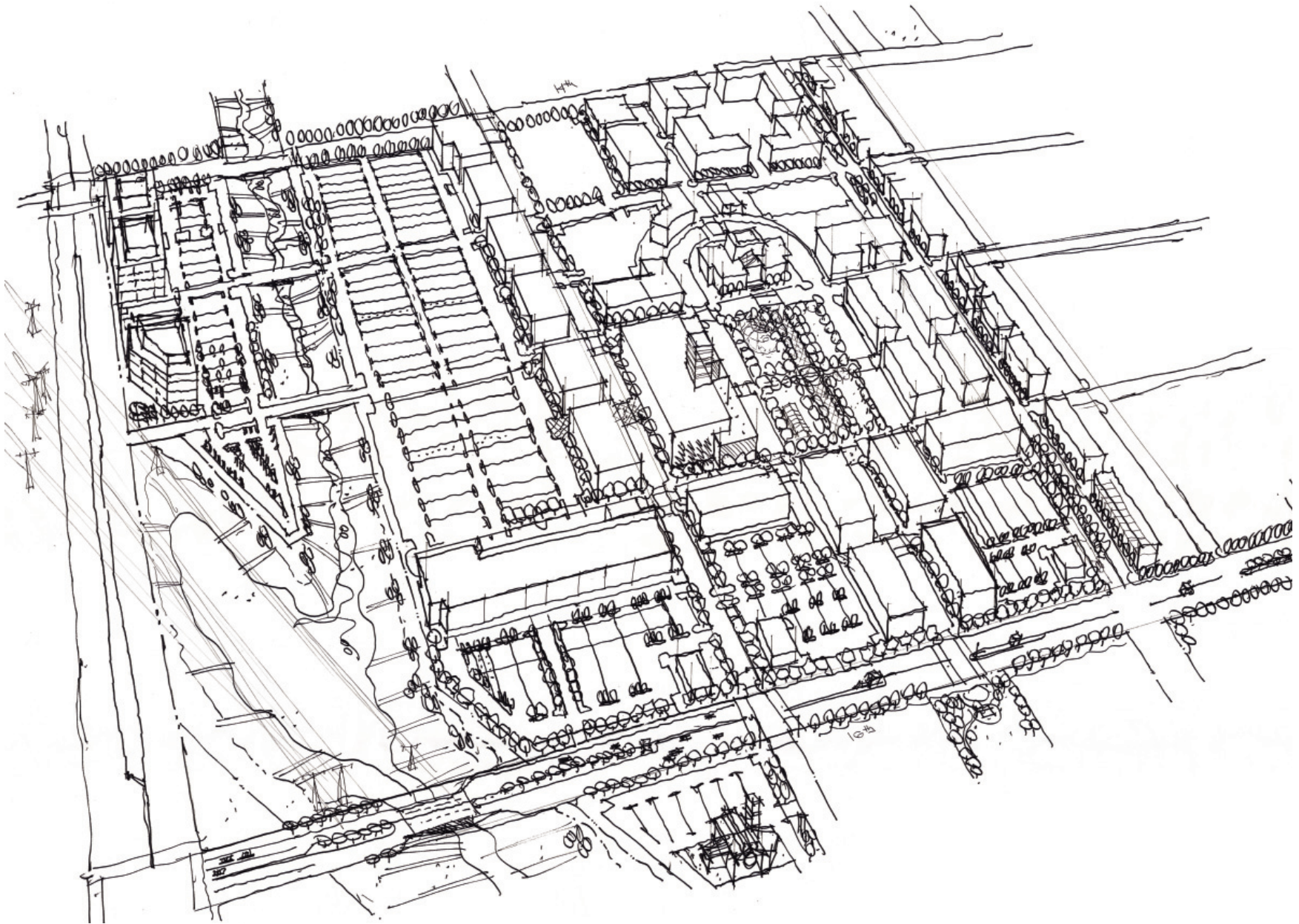


Figure 2.3 View of Townhomes along a Residential Neighborhood Street



Figure 2.4 Conceptual Site Diagram



CHAPTER III: LAND USE



This “Land Use” chapter sets forth the overall framework for the development and preservation of the Placer Vineyards Plan Area. This chapter establishes the overall goals, policies, and development standards applicable to the planned land use activities within the Plan Area. It includes the types and intensities of uses for land and buildings, and the overall forms that are desired for development sites and buildings. The Land Use Diagram (Figure 3.1) illustrates the physical pattern of development permitted in the Plan Area.

This chapter is to be used in conjunction with the other chapters of the Specific Plan. More detailed discussion of open space and resource management is included in Chapter IV. Information on transportation and circulation systems is contained in Chapter V. Community design issues are addressed in Chapter VI and details on public facilities are contained in Chapter VII. The “Land Use and Development Standards” presented in Appendix A establish the permitted uses and development standards for the various land use designations in the Plan Area. These standards amend and supplement Chapter 17 of the Placer County Zoning Ordinance. However, standards or regulations that are not specified in this Specific Plan shall default to the Placer County Zoning Ordinance for applicable provisions.

3.1 LAND USE CONCEPT

CONTEXT

Placer Vineyards represents one of the largest areas for urban growth in southwest Placer County. The intent of the plan is to accommodate the long-term growth needs of the county while establishing a concentrated, compact development pattern in the region with a balance of employment, residential, shopping, and recreational uses. The result will be a comprehensively planned community with a range of new housing neighborhoods, employment centers, shopping centers, parks and recreation facilities, and schools.

LAND USE DIAGRAM

The land use diagram illustrates the underlying framework for the arrangement of land uses, transportation networks, and open spaces within the Plan Area (see Figure 3.1). Tables 3-1 and 3-2 provide a description of the types of uses permitted within each land use category as shown on the Land Use Diagram.

At Plan build-out, the Plan Area will accommodate an estimated population of 33,000 people. It is also planned to accommodate 14,132 new homes, approximately 420 acres of employment-related activity, approximately 930 acres of new parks and open space, and more than 140 acres of retail commercial centers. The land use summary table (Table 3-2) establishes the mix of uses in the Plan Area, including commercial, employment, civic, and open space components.

The land use concept is based on the overall vision and Smart Growth development principles, discussed in Chapter II, “Vision.” These planning principles are summarized by the goals and policies listed below.



3.2 LAND USE PLAN GOALS

GENERAL LAND USE GOALS

- Goal 3.1** Develop an urban pattern that is consistent with the goals and objectives of the Placer County General Plan and the SACOG Blueprint vision of growth in the region.
- Goal 3.2** Develop Placer Vineyards in a pattern that respects the surrounding urban development patterns and transportation and circulation systems, but also sets a high-quality development standard for the area.
- Goal 3.3** Organize land use types and patterns that are sensitive to the existing topographic features and other physical constraints of the site.
- Goal 3.4** Minimize conflicts between urban development and existing and interim agricultural activities.

LAND USE

NATURAL RESOURCES GOALS

- Goal 3.5** Encourage a pattern of development that conserves and incorporates the natural resources of the site in a manner that enhances the quality of life within the urban community.
- Goal 3.6** Protect and conserve the Dry Creek riparian corridor and significant oak groves located throughout the site, and compensate for development impacts with permanent off-site preservation of natural resources, open space, and farmland soils.

HOUSING GOALS

- Goal 3.7** Provide an adequate supply of residential land in a range of densities and housing types. Provide affordable-housing opportunities distributed throughout the community.

COMMERCIAL GOALS

- Goal 3.8** Create a mixed-use Town Center, located centrally in the community, to serve as a gathering place that provides a range of public and private activities for residents, local workers, and visitors.
- Goal 3.9** Create two distinct village centers, geographically dispersed at the west and east ends of the community, with a diverse mix of land use activities that serve the surrounding population.
- Goal 3.10** Provide a range of commercial uses along Baseline Road, including a Power Center, to serve as major centers of employment and retail shopping for the region and provide for the county's economic and fiscal soundness.

EMPLOYMENT GOALS

- Goal 3.11** Further the County's goals for growth management, economic development, and community character by designating land uses that facilitate and encourage the creation of high-quality employment centers along Baseline Road.
- Goal 3.12** Help to achieve a balance of jobs and housing within the region that minimizes environmental impacts by reducing vehicle miles traveled by commuters and air pollution released from automobiles.

PARKS AND OPEN SPACE GOALS

- Goal 3.13** Create an interconnected parks and open space system within Placer Vineyards that provides for the preservation and enhancement of natural resources and offers a variety of recreational opportunities for the community.
- Goal 3.14** Provide parks sized for a variety of recreational uses.
- Goal 3.15** Provide schools that are within a safe, convenient walking distance of residential neighborhoods, as an element of the open space fabric in the community.

RELIGIOUS FACILITIES GOALS

- Goal 3.16** Encourage the establishment of religious sites to serve the diverse cultural and religious needs of the community.

3.3 LAND USE PLAN POLICIES

GENERAL LAND USE POLICIES

- Policy 3.1** *Urban/Rural Transitions.*
The Placer Vineyards Plan Area shall be buffered from existing rural and agricultural development as long as this use persists. Buffers may include road rights-of-way, landscaped setbacks, and open space.
- Policy 3.2** *Existing Agricultural Uses.*
Placer County will review and analyze development proposals for potential conflicts between aerial spraying associated with agricultural activities and proposed land uses.
- Policy 3.3** *Sequencing of Development.*
The construction of a core infrastructure system will permit development to proceed, as the availability of services and infrastructure allow.

NATURAL RESOURCES POLICIES

Policy 3.4 Natural Resource Management.

1. The following natural features of the site are protected in open space areas and serve as the framework for the system of drainage corridors and greenways through the Plan Area.
 - a. Environmentally sensitive areas, such as high-quality wetlands and streams, shall be protected in open space with landscape buffers.
 - b. Concentrations of existing oak trees, such as the oak groves and oak trees located along Dyer Lane, shall be preserved in open space.
 - c. The Dry Creek riparian corridor shall be a protected natural resource area, shared between the existing plant and wildlife communities and future residents.
2. Soil classifications and the existing classifications within the Plan Area made by the California Department of Conservation Farmland Mapping and Monitoring Program are identified in the Specific Plan EIR. Loss of important farmland and soils will be mitigated by permanent preservation of equivalent farmland and soils off-site.

HOUSING POLICIES

Policy 3.5 Location and Density Range.

The total of all residential units within the plan shall not exceed 14,132 units. Residential uses shall be located in areas designated in the land use plan and within the density ranges provided in Table 3-2, "Land Use Summary Table."

Policy 3.6 Mix of Densities and Variety.

Subject to the applicable density range, a variety of housing types and densities will be provided.

Policy 3.7 Secondary Dwelling Units.

Secondary units shall be consistent with Placer County Zoning Ordinance standards. Units constructed with the initial development projects shall be included in the calculation of density for that project.

Policy 3.8 Active Adult Community.

The eastern portion of the Plan Area (designated under property 1A on the ownership land use map) shall be reserved as a residential community for active adults (55+ years and older).

COMMERCIAL POLICIES

Policy 3.9 Commercial Services.

A hierarchy of regional and local commercial areas shall provide a range of products and services to the Plan Area.

1. The regional commercial centers are highly visible shopping areas and offices concentrated on high-traffic intersections along Baseline Road. The Power Center provides for large-scale volume purchases not generally available in smaller shopping centers. Together these centers will serve the needs of the larger region; they will not compete directly with the retail and services provided in the Placer Vineyards Town Center, Village Centers, and convenience centers.
2. The Town Center shall be located in the geographic center of the community, along 16th Street, just south of Baseline Road. The Town Center is an easily accessible, pedestrian-friendly, mixed-use center with specialty retail shops and restaurants located on the ground floor for outside dining potential. Housing and offices may be located on the floors above. The Town Center is also a community focal point, providing public and civic services such as a library, church, and civic offices as well as recreational opportunities such as parks, open markets, recreation centers, and theaters.
3. Two village centers serve the east and west communities of the Plan Area. Like the Town Center, they are easily accessible to the community, but are smaller mixed-use centers, providing retail and more localized community shopping and services. The East Village Center will provide for bus rapid transit access, a transit terminal, a fire station, and ground-floor commercial uses, surrounded by high-density housing.

The West Village Center provides commercial uses in close proximity to the high school, a community park, and residential neighborhoods.
4. Neighborhood centers provide convenience-type retail uses within local residential neighborhoods and are dispersed throughout the community within the Commercial/Mixed Use (C/MU) land use categories.

LAND USE

EMPLOYMENT POLICIES

Policy 3.10 Employment.

Higher intensity employment uses shall be concentrated along Baseline Road and secondarily in the Town Center and along Watt Avenue.

PARKS AND OPEN SPACE POLICIES

Policy 3.11 Parks.

A variety of large, medium, and small parks shall be distributed throughout the Plan Area and shall provide recreational opportunities for residents of all ages and abilities.

- 1. Eight neighborhood parks shall be located adjacent to school facilities to allow for shared use and maintenance of public facilities. (See Chapter VII, "Parks and Open Space," for additional park policies and guidelines, and Chapter IX, "Public Facilities," for additional school policies and guidelines. See the Development Agreement for the timing and details related to construction of these neighborhood parks.)*
- 2. Neighborhood Parks shall generally be located no farther than one-quarter mile from the farthest residence.*
- 3. Neighborhood developments are encouraged to provide mini parks, image landscape features, and tot lots.*
- 4. Parks shall be provided at a minimum standard of 5 acres per 1,000 population.*

RELIGIOUS FACILITIES POLICIES

Policy 3.12 Religious Facilities Location.

The Land Use Diagram (Figure 3.1) indicates, at a minimum, the number of religious sites within the Plan Area. Additional religious and institutional uses may be provided elsewhere in the Plan Area subject to County review and approval.

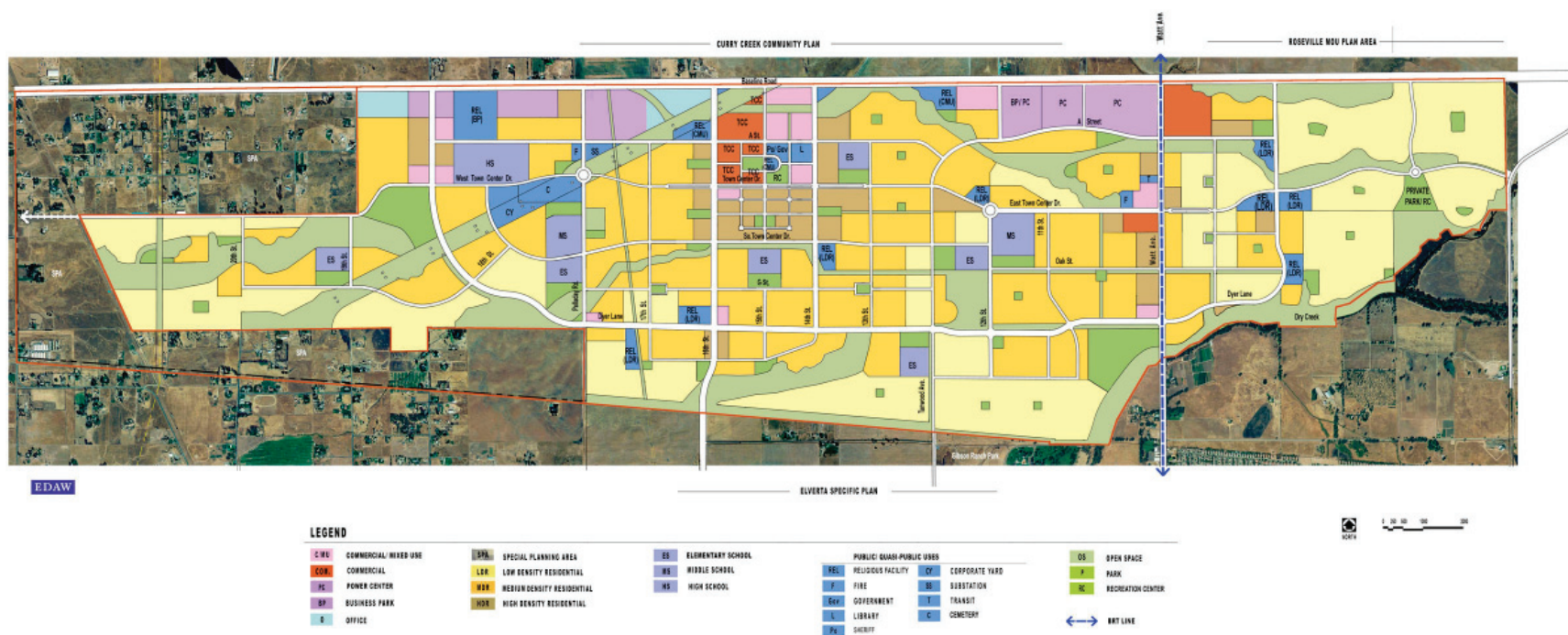
Policy 3.13 Transfer of Religious Facilities Development Rights.

Designated religious sites are overlay zones with underlying residential and non-residential land uses, selected to be compatible with surrounding land uses. Underlying land uses are indicated in parenthesis following the Religious Site (REL) site designation in the Land Use Diagram (Figure 3.1). All religious

sites when developed with houses of worship, as defined by the Placer County Zoning Ordinance, shall be granted residential density bonus units that may be transferred elsewhere within the residential areas of their property.

The number of units allowed for transfer is proportional to the area of the religious site, calculated at a Low Density Residential (LDR) density. The calculated density and maximum total number of bonus units reserve for transfer of religious sites for each property of record is indicated in Table 3.3. The same standards apply to religious sites with a non-residential land use, such as Business Park (BP) or C/MU. These sites shall also be allowed to transfer the reserved religious site area, calculated at a LDR- density, within the residential land use areas of their property, when the religious site develops. (See Section 9.2.7, "Transfer of Density," in Chapter IX, "Implementation," for more detail on the density transfer program for religious sites in Placer Vineyards.)

Figure 3.1 Land Use Diagram



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LAND USE

Policy 3.14 Land Use Designations.

The new land use designations in the Specific Plan shall take precedence over existing comparable zoning designations in the County Zoning Ordinance. (Permitted uses for each land use designation are included as part of Appendix A.) Table 3-1 shows the relationship between Placer County zoning designations and Specific Plan land use designations (for reference purposes only).

Table 3-1 Specific Plan Comparable County Zoning Designations

Land Use Symbol	Description	Comparable Zoning Designations
SPA	Special Planning Area	RA, RS
LDR	Low Density Residential	RA, RS
MDR	Medium Density Residential	RS
HDR	High Density Residential	RM, RS
CMU	Commercial Mixed Use	OP, CPD
COM/ TCC	Commercial/ Town Center Commercial	C1, C2, OP
BP	Business Park	BP, CPD, OP
PC	Power Center	BP, CPD, OP
O	Office	C1, C2, C3, CPD, HS, MT, OP, RES, AP, BP, IN, INP
PUB (C, CY, F, Gov, L, Po, REL, SS, T)	Public Use	
ES, MS, HS	Schools	RS, RM, RA, RE, C1, C2, C3, CPD, MT, OP, RES, BP, F
OS	Open Space	O
P	Parks	RS, RM, RA, RE, C1, C2, C3, CPD, HS, MT, OP, RES, AP, BP, IN, INP, F, FOR, O

Table 3-2 Land Use Summary

Land Use	Density Range	Density Calc.	Acres	% of Total Acres	Units	% Unit Mix
Residential:						
Special Planning Area (SPA)	Varies	0.42	979.0	18.7%	411	2.9%
Low Density Residential (LDR)	2–6	3.5	991.0	18.9%	3,455	24.5%
Medium Density Residential (MDR)	4-8	5.24	1,196.0	22.9%	6,266	44.3%
High Density Residential (HDR)	7-21	15	190.0	3.6%	2,844	20.1%
Commercial:						
Commercial/Mixed Use ¹ (C/MU)	14-22	18	67.0	1.3%	844	6.0%
Commercial (Com.)			34.0	0.6%		
Town Center Commercial (TCC)			33.5	0.6%		
Business Park ² (BP)			98.5	1.9%		
Power Center (PC)			60.0	1.2%		
Office (O)			34.5	0.65%		
Public/Quasi-Public:						
Public Use (CEM, CY, F, GOV, L, PO, SS, T)			53.5	1.0%		
Schools (ES/MS/HS)			140.0	2.7%		
Religious Facilities ³ (REL)		3.5	92.0	1.8%	312	2.2%
Parks and Open Space:						
Open Space (OS)			714.0	13.65%		
Parks ⁴ (P)			217.0	4.2%		
Arterials and Collector Roads			330.0	6.3%		
Total			5,230.0	100.0%	14,132	100.0%

Notes:

- 1 Residential units in Commercial/Mixed Use acreage are devoted to housing at the density indicated.
- 2 Thirty-one acres may be a BP or PC land use (see Figure 3.1, "Land Use Diagram," for site location).
- 3 Religious facility sites, when developed with religious facilities, provide additional bonus units at an LDR density of 3.5 du/ac.
- 4 Twenty-two (22.0) acres of parks found in the active adult community (Property #1A) are private parks.

3.4 LAND USE DESIGNATIONS

The following section describes the intent of each of the Specific Plan land use categories and the types of land uses that are allowed in each category. The land use designations and the accompanying table of land uses provide the framework for future land use decisions within the Plan Area.

Policy 3.15 Land Use Designations to the Plan.

The development program (number of residential units in the Plan Area, permissible intensity of commercial development, and allocation of public uses for each parcel) is specified in the Land Use Diagram (Figure 3.1) and the Land Use Ownership Summary (Table 3-3). The development program also allocates a specific allowable number of residential units and indicates the commercial development potential for each property of record in the Plan Area, as described in the following sections. Any subsequent development plan that exceeds the intensities assigned by the plan may be subject to the subsequent environmental review process. See Section 9.2.4, "Subsequent Entitlement Process," in Chapter IX, "Implementation."

The assigned residential intensities and total commercial acreages are listed in Table 3-3 and will also be identified in the Development Agreement for Placer Vineyards. Commercial intensities, defined by the floor area ratios, are provided under the commercial land use designation headings that follow and in Appendix A, "Land Use and Development Standards." Likewise, allowable residential densities are identified under the residential land use designation headings that follow and are further defined and identified in the development standards in Appendix A.

Policy 3.16 Allowable Land Uses.

Permitted land uses and development standards for each land use designation are included as Appendix A of this Specific Plan. Appendix A shall identify the uses allowed by right, uses allowed by administrative review permit, uses allowed by conditional use permit, and prohibited uses. The purpose of the permit requirement is to allow the County to evaluate the proposed uses; to determine whether problems may occur; to ensure compatibility of adjoining uses; to provide the public the opportunity to review projects and identify issues and concerns in a public hearing; to work with the applicants to adjust the project through conditions of approval; and to solve identified problems or to disapprove a project if problems cannot be adequately resolved.

RESIDENTIAL USES:

Low Density Residential (2 -6 Du/ac)

The Low Density Residential areas are intended for single-family detached, half-plex units and similar and compatible uses. Special housing types for elderly, active-adult, and community living are also allowed. The Low Density Residential neighborhoods also permit public and quasi-public uses such as schools, parks, and recreation facilities with appropriate buffers and access to major local roadways and collector streets. Agricultural use of the land may continue as an interim use until development pursuant to this Specific Plan.

The Land Use Diagram designates 991 acres of Low Density Residential housing units. This designation allows a density range of 2–6 du/ac. Refer to Table 3-3 for the distribution of total units to individual properties of record and to Appendix A for the residential development standards.

Medium Density Residential (4-8 du/ac)

The Medium Density Residential (MDR) areas are intended for a range of housing types, such as standard lot and small lot single family detached homes, half-plex units and similar, compatible uses.

The land use diagram provides 1,196 acres of Medium Density Residential. This designation allows a density range of 4-8 du/ac. Refer to Table 3-3 for the distribution of total units to individual properties of record and to Appendix A for the residential development standards.

High Density Residential (7-21 du/ac)

The High Density Residential (HDR) areas are intended for a range of housing types, such as cluster housing or motor courts, townhouses, condominiums, attached and a variety of detached multifamily units (apartments) and similar, compatible uses.

The Land Use Diagram indicates 190 acres of High Density Residential uses. This designation allows a density range of 7-21 du/ac. A use permit is not required for units in this category if they are consistent with the requirements of this Specific Plan. However, site/ design review is required to determine design consistency. Refer to Table 3-3 for the distribution of total units to individual properties of record and to Appendix A for the residential development standards.

Alternative housing designs are encouraged in all residential categories. The use of innovative subdivision designs, such as zero-lot-line patio homes, cluster home designs, garage units, and auto court arrangements or the use of half-plex or duplex units that provide two single-family homes attached along a common wall, is encouraged. To the extent feasible in the MDR and HDR categories, units should be maximized.

Policy 3.17 Nuisance Uses.

Land uses that involve outdoor manufacturing or uses that may emit any appreciable amount of visible gases, particulates, steam, heat, odor, vibration, glare, dust, or excessive noise from the exterior of a building are not allowed in the Plan Area.

COMMERCIAL USES:

Commercial (FAR Range: 0.20 to 0.30)

The Commercial (Com.) land use designation allows for a variety of retail uses and services. These include small convenience stores and centers, neighborhood-serving shopping centers, and community-scale retail centers. Typical commercial land uses include neighborhood grocery stores, drugstores, and retail stores providing household goods and services for the surrounding residential neighborhoods. The Commercial designation would also allow for banks and financial institution offices; realty and insurance offices; medical offices and professional offices; and gas stations and auto repair uses (limited in extent and located where compatible with adjoining land uses and subject to approval of a Minor Use Permit). The commercial designation also allows for public and quasi-public uses, parks, libraries and museums, public utility and safety facilities, and other similar compatible uses.

The floor area ratio (FAR) applicable to the Commercial designation range from a minimum of 0.20 to a maximum of 0.30.

The intensity utilized for the purpose of distributing commercial intensity to individual properties of record is 0.25. (Refer to the development standards in Appendix A for applicable, allowed Commercial uses and development standards.)

Town Center

The purpose of the Town Center is to create a pedestrian-oriented, easily accessible, mixed-use retail core in the heart of the Placer Vineyards community. The Town Center is intended to be a highly visible, higher intensity, active, social and cultural gathering place. The Town Center supports a mix of uses with office or residential uses located

above ground-floor retail shops. Ground-floor retail uses with mid-rise buildings, placed at the back of sidewalks, open onto wide pedestrian sidewalks, allowing for outdoor dining and retail displays.

Town Center Commercial (FAR Range: 0.35 to 2.0)

Uses encouraged in the Town Center Commercial use include all types of office uses (e.g., banks and medical offices); a variety of retail stores and services (furniture stores, clothing and household goods, music stores and video outlets, hotels, motels, restaurants, bars); a variety of entertainment uses (movie theaters, nightclubs); and public and quasi-public uses (community recreation center, library, fire station, sheriff's substation, and religious facility); along with public parks, an amphitheater, and plazas. The Town Center Commercial use may also include locally serving retail uses (a small grocery store and/or drugstore and other local services). The Town Center shall be designed to encourage outdoor eating and dining along the sidewalks with public and quasi-public uses integrated into the organization of the Town Center layout.

The Town Center Commercial use is assumed to provide 80% retail uses and 20% office uses under this land use designation; however, development of residential uses within the Town Center Commercial designation is also encouraged.

The FARs applicable to the Town Center Commercial designation range from a minimum of 0.35 to a maximum of 2.0. For the purposes of distributing development intensities, the Land Use Plan assumes that approximately 80% of this area will be developed with retail uses at an FAR of 0.45. The remaining 20% is anticipated to develop with office uses with the same FAR of 0.45. (Refer to the Development Standards in Appendix A for allowed Town Center Commercial uses and applicable development standards.)

Policy 3.18 Specialty Grocery Stores.

The Town Center will have the exclusive rights for specialty grocers less than 25,000 square feet in size. Examples of specialty grocers are Trader Joe's, Whole Foods Market, or other similar type store concepts with a square footage of less than 25,000 square feet. Other special neighborhood-serving grocery stores, delis, and specialty-food stores should be located in small mixed-use and neighborhood retail shopping centers rather than in the retail center locations along Baseline Road.

Policy 3.19 Grocery Stores.

The Town Center will have the exclusive right within the Plan Area to open a traditional grocery store, such as a Safeway, Albertson's, Raley's, or similar type store concept for a period of time as specified in the development agreement. If Placer County or the City of Roseville circulates the draft EIR for public review and comment on the Curry Creek Project, Regional University Project, or the City of Roseville Memorandum of Understanding (MOU) area, and any of these projects includes a traditional grocery store component, then this right of exclusivity for traditional grocery stores shall become null and void, and any commercial owner in the Plan Area will be allowed to open a traditional grocery store without the restrictions described above. Notwithstanding the foregoing, this right of exclusivity shall not apply to non-traditional grocery stores, such as a Wal-mart, Food 4 Less, or similar type stores.

Policy 3.20 Movie Theater and Other Entertainment Uses.

The Town Center shall have exclusive right to a movie theater use within the Specific Plan Area. To encourage pedestrian activity and provide attractions that support local shops and restaurants in the Town Center, movie theaters and other entertainment uses, including dance clubs, live music, theaters, and art galleries shall be located primarily in the Town Center.

Commercial/ Mixed Use (15-35 du/ac) (FAR Range: 0.35 to 2.0)

The Commercial/Mixed Use (C/MU) designation is intended to encourage a variety of projects with a mix of uses including high-density residential retail and office uses within one development. The C/MU designation allows for mixed-use neighborhood nodes of office and commercial uses on smaller sites integrated into the surrounding residential neighborhoods. Mixed-use may include both vertical mixed-use/ ground-floor commercial uses with residential or office above; or horizontal mixed-use/ commercial and residential development located on the same site with shared open space and direct pedestrian connections.

Typically found on the corners of collector and arterial streets, the C/MU designation allows flexibility for future market conditions and provides for local neighborhood services. The C/MU district also envisions uses such as live-work residential loft spaces with living units integrated into office spaces, commercial store fronts and artist studios. C/MU areas will also allow religious facilities.

The C/MU designation allows for a residential density range of 15–35 du/ac. For the purposes of distributing development intensities, the land use plan assumes that approximately 70% of the development area will be developed with residential uses, as

assigned in Table 3-3. The FARs applicable to the Commercial/ Mixed Use land use designation range from a minimum of 0.35 to a maximum of 2.0. The remaining 30% of the development area is assumed to develop with commercial uses evenly split between retail and office uses at a FAR of 0.25. (Refer to Appendix A for allowed C/MU uses and applicable Development Standards.)

Policy 3.21 Parking in Commercial/ Mixed Use Sites.

For mixed-use projects, parking may be shared between uses. To facilitate shared parking, a parking analysis shall be prepared that lists project-specific assumptions for the mix of uses, outlines peak parking periods for each use type, and demonstrates that adequate parking will be provided. To relax the individual parking requirements listed above, the County Planning Director shall determine that, based on the findings in the shared parking analysis, the entire project will not result in a parking shortfall.

Office (FAR Range: 0.25 to 0.45)

The Office (O) land use category is intended for professional and administrative office uses including finance, insurance, and banking offices; office parks for research and development; light manufacturing uses; medical and dental facilities; and related incidental office supporting commercial uses such as copy centers, cafes, communication retail sales and services, and office supplies.

The FARs applicable to the Office land use designation range from a minimum of 0.25 to a maximum of 0.45. The intensity utilized for the purpose of distributing Office intensity to individual parcels of record is 0.30. (Refer to the Development Standards in Appendix A for the allowed Office uses and applicable development standards.)

Business Park (FAR Range: 0.20 to 0.45)

The purpose of the Business Park (BP) land use designation is to provide for a wide range of large-scale office, commercial, and light industrial land uses on large parcels. BP land uses will provide employment, commercial, and regional uses that help foster a balance of jobs and housing and meet the economic goals of the Placer County General Plan. The BP land use designation also allows for flexibility to meet changing market conditions over time.

The BP designation allows for a mix of office park uses (light industrial, “high-tech” manufacturing and assembly, distribution, warehousing, research and development; medical and dental facilities); and supporting retail commercial uses (business services and office support services). The BP designation also allows for public and quasi-public uses such as commercial recreation uses, religious facilities, and private school and university facilities.

The BP designation allows for office and retail development within a FAR range from a minimum of 0.20 to a maximum of 0.45. For the purposes of distributing development intensities, the land use plan assumes that the BP development area will develop with retail and office uses at an FAR of 0.25. (Refer to the Development Standards in Appendix A for the allowed Business Park uses and applicable development standards.)

Power Center (FAR Range: 0.20 to 0.35)

The Power Center (PC) land use is envisioned for large-scale retail stores providing goods and services for the regional market. Stores include, but are not limited to, home improvement and large-scale gardening centers, large-scale discount centers, furniture, computers, household goods and groceries, auto sales and services, auto service stations, tire stores, large-scale clothing outlets, and other uses typically found in Power Centers. Power Center uses may also include restaurants and drinking establishments, and fast-food (drive-thru) food outlets. The Power Center designation will also allow for the location of public and quasi-public uses such as commercial recreation uses, religious facilities, and private schools and university facilities.

The FARs applicable to the Power Center land use designation range from a minimum of 0.20 to a maximum of 0.35. The intensity utilized for the purpose of distributing Power Center intensity to individual parcels of record is 0.25. (Refer to the Development Standards in Appendix A for the allowed Power Center uses and applicable development standards.)

PARKS, RECREATION, AND OPEN SPACE USES:

The parks and open space system proposed for Placer Vineyards incorporates more than 930 acres of parks and open space to be used for active and passive recreation. Three large community-sized parks are distributed in the Plan Area, as well as two large open space oak preserve areas. Eight joint-use park/ school sites plus over 50 neighborhood and mini parks, as well as several smaller image parks, are dispersed throughout the Plan Area. A dog park shall also be provided. Development of other mini parks or pocket parks large enough for tot lots and other recreation facilities, but not indicated in the Land Use Plan Diagram, is also encouraged. In addition, a series of trails linked to several east-west and north-south open space corridors provide neighborhood connections throughout the Plan Area. Information on trails is provided in Chapter V, “Transportation and Circulation.” Additional details on the parks and open space system are described in Chapter VII, “Parks and Open Space.”

Open Space

The Open Space (OS) land use designation is intended to protect the natural areas, creeks, wetlands, and specific tree groves within the Plan Area. Open space will include flood control and drainage channels, properties within power line easements, and special setback areas, such as along the Placer County line. Open Space areas may have compatible uses, including trails as well as other active and passive recreational uses and their associated parking lots.

A total of 714 acres (approximately 14% of the Plan Area) is designated Open Space. This category includes only natural and/ or passive open space and does not include parks.

Oak Grove Open Spaces

Concentrations of significant oak trees on the site are preserved in two large oak grove open space areas. They provide open space amenities to the community and provide passive recreational opportunities, such as picnic areas, quiet seating areas, and trail loops.

LAND USE

Landscaped Rights-of-Way and Entries

Landscape corridors and landscaped areas are provided along public street rights-of-way as networks of green spaces designed to enhance the visual and environmental quality of the street for pedestrians and other visitors. Landscape entry features and gateways are also provided in the community to help define different parts of the community. These are landscaped, themed features at the entrances to major intersections of the community or smaller signature features into residential neighborhoods. Landscaped rights-of-way and entries are not counted within the park or open space requirements for this project. Landscape rights-of-way or corridor lots shall be developed and dedicated to the County at the same time that the public street rights-of-way are developed and dedicated to the County. See Chapter VI, “Community Design,” for additional streetscape and community gateway design guidelines.

Park

A variety of park types and sizes are planned for Placer Vineyards under the Park (P) designation. Each park is planned and designed with a range of park facilities depending on the character of the park. The park types and characteristics are described below.

Mini Parks (Pocket Parks)

Mini parks can be as small as one-quarter to one-half acre in size, but are more typically 1- to 2- acre sites that provide green space and passive recreation opportunities for a specific neighborhood. Uses and activities may include tot lots/playgrounds, half-court basketball, open turf areas, picnic areas with BBQs and a minimum of two tables, a shade structure or adequate shading provided by trees, and security lighting. Not all of the mini parks are shown in the Land Use Diagram, but providing mini parks in large residential developments is encouraged.

Town Center Green

A 3-acre green is centrally located in the Town Center. The Town Center green is intended to serve as a civic, cultural, and community focal point, designed to complement the design themes within the Town Center. It will include play areas, picnic areas, an outdoor amphitheater for performances, open areas for farmers' markets or other informal uses, and a water or other landmark feature as a focal point.

Neighborhood Parks

Neighborhood parks range from 2 to 15 acres in size. Eight joint-use school/ park sites are also included in this category. Facilities planned for joint-use park/ school sites should take into consideration what proposed school facilities are to maximize the recreation facilities of both. These parks should also be designed to operate independently of the school facilities, if necessary.

Community Parks

Two large community parks are located in the Plan Area. The East Community Park is located next to Watt Avenue and Dyer Lane, adjacent to the Dry Creek Parkway. The West Community Park is located just northwest of the power line easement corridor and is bounded on its eastern boundary by West Dyer Lane. Community parks will include active recreation uses such as ball fields, passive recreation uses such as trails and picnic areas, and other support facilities such as restrooms, concession stands, and parking and staging areas for bicyclists and runners. Each community park will also contain a small shop and yard for park maintenance. Additionally, these parks may be used for meetings, neighborhood activities, special-interest groups, and youth and adult sports leagues.

Private Parks

Private parks and a recreation center are provided within the active adult community in the eastern portions of the Plan Area, identified in Figure 7.1, “Parks and Open Space Plan Diagram.” Private parks shall count toward satisfying the park dedication requirements for the project, subject to the conditions for private parks found in Section 16.08.100-I, “Private Facilities Credit in the Zoning Ordinance.”

Recreation Center (only in Town Center)

The Placer Vineyards Specific Plan envisions the development of a large community-wide recreation facility, designated RC on the Land Use Diagram, to add to the vitality and community life of the Town Center. The Recreation Center is planned as a large indoor and outdoor recreation facility with indoor meeting rooms, fitness rooms and equipment, and associated offices. Outdoor facilities may include a pool, plaza, outdoor gazebo, and gathering areas.

PUBLIC AND QUASI-PUBLIC USES:

The Placer Vineyards Specific Plan provides for a broad range of cultural, public/ quasi-public, and religious uses, strategically located throughout the Plan Area. Nestled within the Placer Vineyards neighborhoods and Village Centers and connected with local trails and bicycle paths, these areas provide for cultural activities that enrich the character and quality of the community in close proximity to where people live. These uses are listed below.

Pursuant to Policy 3.13, residential or other underlying land uses may be permitted for religious sites, should a religious site not be forthcoming. Refer to the table of allowed uses for the underlying land use designation found in Appendix A, “Land Use and Development Standards”.

Cemetery

Cemetery (C) property designates land subdivided into cemetery lots offering burial plots or aboveground interment. It may also include columbariums, mortuaries, animal cemeteries, and full-service funeral parlors and crematoriums.

Corporation Yard

A shared corporation yard (CY) is provided to accommodate the following facility needs of the County:

- ◆ Sheriff's department vehicle and equipment storage area
- ◆ Fire department training and storage facility
- ◆ Special districts office and shop area
- ◆ Facilities service maintenance yard
- ◆ Fleet/ Transit maintenance building space, yard, and fueling facility
- ◆ Shared office space for Transit, Fleet Services and Roads
- ◆ Roads division storage and employee areas

Fire

Two fire stations (F) are provided in the Plan Area. One serves the eastern portion of the Plan Area and is located on Town Center Drive near Watt Avenue. The other is located to the west, at the intersection of Palladay Road and A Street.

Government/ Sheriff

A government (Gov) office facility will be located in the Town Center, housing administrative offices. A small sheriff's substation (Po) is co-located with the government office in the Town Center to provide policing and local public safety services.

Library

A library (L) facility is centrally located in the Town Center to provide literary, educational, and informational resources to the community.

Religious Site

Religious sites are designated for houses of worship, defined as religious organization facilities operated for worship or promotion of religious activities, including churches, synagogues, temples, etc. and also includes religious accessory uses on the same site, including, but not limited to living quarters for staff, child day care facilities where authorized by the same type of land use permit required for the house of worship itself. Other establishments maintained by the religious organizations, such as full-time educational institutions, hospitals and other potentially related operations (such as a recreation camp) are classified according to their respective activities.

Pursuant to Policy 3.13, residential or other underlying land uses may be permitted for religious sites, should a religious site not be forthcoming. Refer to the table of allowed uses for the underlying land use designation, found in Appendix A, “Land Use and Development Standards”.

Utility Substation

The utility substation (SS) designation allows for electrical substations, pumping stations, pressure regulation stations, or similar facility required to serve the Plan Area.

Transit Station

A multi-modal transit station/ terminal (T) is provided in the Plan Area within the East Village Center with access provided from Watt Avenue. It will serve to distribute information on local transit options and serve as a passenger terminal and transfer station for public mass-transit systems including a future, potential bus rapid transit line along Watt Avenue.

LAND USE

SCHOOLS:

Six elementary schools, two middle schools, and one high school are designated by the ES, MS, and HS symbols on the land use diagram. The land use diagram designates 140 acres for schools.

School sites are situated adjacent to park sites and open space to allow joint use of facilities, trail access, and efficient use of the land. Joint school/ park sites are centrally placed within each neighborhood to provide a focus for neighborhood interaction and to allow children to walk to school. School sites have been located based on the estimated number of students in each surrounding neighborhood and may need to be revised slightly based on actual build-out densities. Schools are sized for “stand alone” facilities, which may develop independently of parks.

Policy 3.22 Land Use for Unused School Sites.

If the school district decides that a school site shown in the land use diagram is not needed, residential development will be permitted at the residential density of the prevalent land use adjacent to the designated school site. The total number of residential units allocated to the underlying property will not be increased by the readjustment of land use. In this situation, the adjacent neighborhood park site shall remain as indicated on the land use diagram, providing a central focus for the neighborhood

Elementary Schools

Elementary schools (ES) serve kindergarden through fifth or sixth grade (depending on the school district). Elementary school sites are 10 acres in size with an adjacent 6-acre neighborhood park. They are located within residential neighborhoods, within easy walking distance (one-half mile radius), and within auto access from local residential roads and collector streets.

Middle Schools

Middle school (MS) sites are planned to be 20 acres and will serve grades 6 through 7 or 8 (depending on the school district). Three middle schools are provided. These are located within residential neighborhoods on main collector streets.

High School

The High School site near the corner of Town Center Drive and Dyer Lane is 40 acres. It is planned to serve grades nine through twelve and is sited on collector streets, in proximity to the surrounding residential community, local commercial services and adjacent to park facilities located in the Community Park.

SPECIAL PLANNING AREA:

The Special Planning Area (SPA) designation is located on approximately 979 acres at the western portion of the Plan Area and includes the existing Riego area. There are approximately 150 existing homes within the SPA. Approximately 200 or 87% of the 230± existing parcels within the SPA are 5 acres or less in size, with the majority being less than 2 acres and located primarily in the Riego township area. The remaining 30 parcels range in size from 5 to 96 acres and are generally located in the vicinity of Newton Street, south of Browning and Colburn Streets. Refer to Figure 3.2 for a map of the SPA.

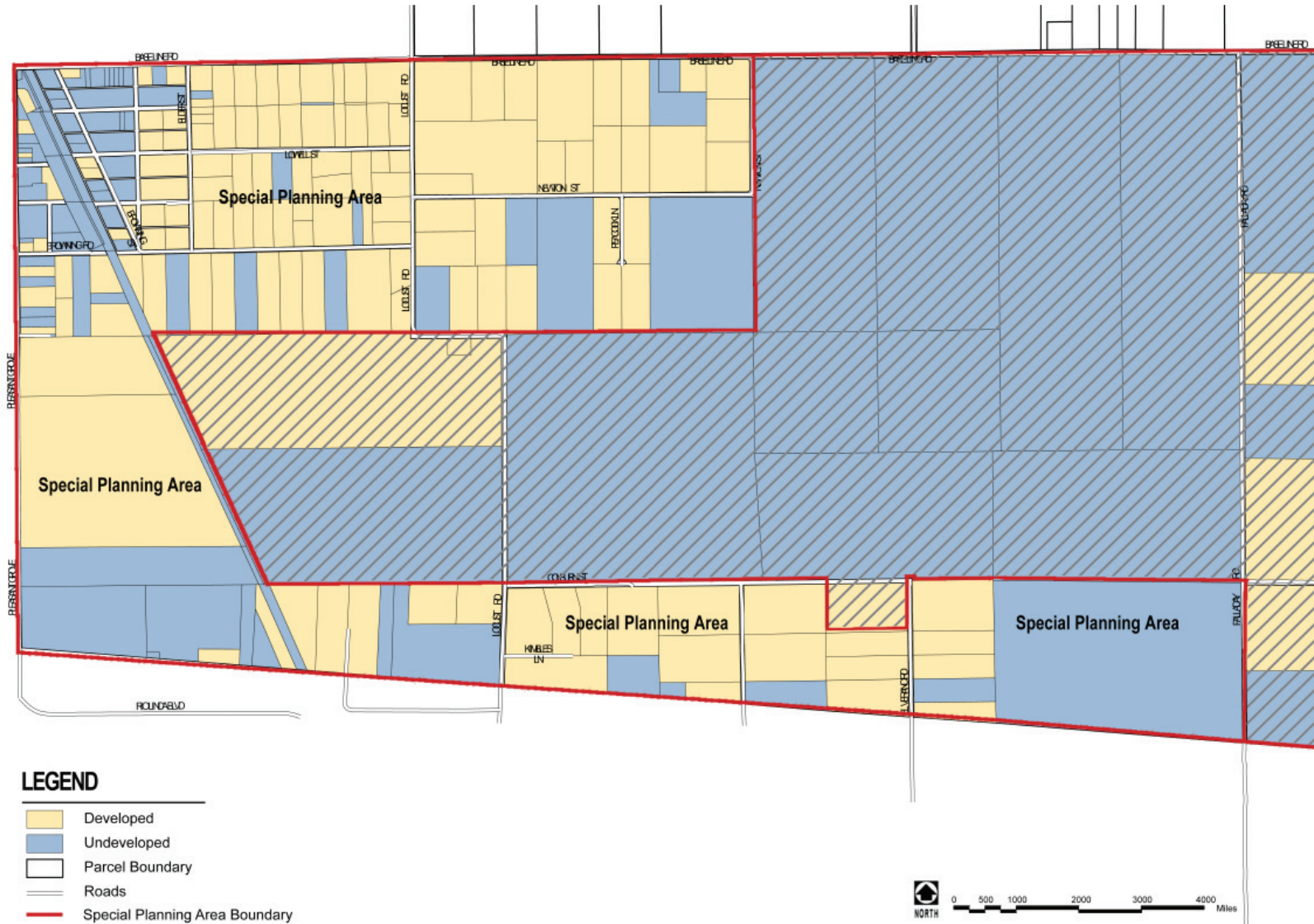
Of the 14,132 units within the Plan Area, 411 units are reserved in the SPA for the eventual build-out of this area. These 411 include 150 existing homes, leaving an additional 261 new homes allowed for development in the SPA. The 261 additional reserved for the potential build-out of parcels within the SPA area include 63 new units, governed under current zoning. The remaining 198 units will be required to additional project-level environmental analysis and will require a Major Amendment to the Specific Plan in order to develop at densities greater than allowed under current zoning.

The main trunk lines of the Placer Vineyards infrastructure system (sewer, water, and storm drainage) will be sized to serve the additional 261 new units in the SPA Area. Property owners of the SPA Area who choose to develop at densities beyond the current zoning allowed, will be required to connect into the Placer Vineyards infrastructure system. They must also pay any associated costs related to extending that infrastructure to the property, including connection fees and any Plan Area or special district fees that apply to the Placer Vineyards Plan Area.

Policy 3.23 Special Planning Area.

This Specific Plan does not revise or designate zoning for the SPA properties. The corresponding existing zoning for these SPA properties will apply. Individual property owners may build at the existing zoning density. Property owners may also request a separate development proposal to the County to utilize units under the Placer Vineyards Specific Plan. Chapter IX of this Specific Plan describes the procedure for the future processing of discretionary land use entitlement requests for parcels within the SPA.

Figure 3.2 Special Planning Area Location Map



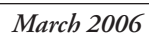
Source: Placer County Planning 2005

LAND USE

3.5 LAND OWNERSHIP AND LAND USE ALLOCATION

Figure 3.3 and Table 3-3 below summarize the development program for each property owner in the Plan Area. Within the development program, the following standards shall apply.

1. Each property cannot exceed the permitted density range for the land use designation or the allowable number of residential units and commercial intensities, assigned to the property in Table 3-3, without a Specific Plan amendment and additional environmental review. However, to provide development flexibility, transfer of development between land use parcels is permitted, provided that they meet the criteria set forth in “Transfer of Density,” described in Chapter IX, “Implementation.”
2. Secondary dwelling units when developed simultaneously with new-home construction shall be counted as part of the allowable development potential of each property.



LAND USE

Table 3-3 Land Use Ownership Summary

Property ID#	AP#	Property Owner	Representative	Gross Parcel Acreage	SPA		LDR 3.5 du/ac		MDR 5.22 du/ac.		HDR 15 du/ac.		COM.	OFF	CMU(2) 18 du/acre	
					Acres	Units	Acres	Units	Acres	Units	Acres	Units	Acres	Acres	Acres	Units
1A	23-221-001, 23-200-005	Doyle/ TR et al	Greg McKenzie	402.0			264.0	903								
1B	23-200-006	Hodel	Greg McKenzie	56.0			10.0	35	18.0	97	6.0	90				
2	23-200-017	Mourier	Steve Schnable	138.0			82.5	289	21.0	94						
3	23-200-037	Auburn & Van Maren, et al	Steve Gidaro Phillip Harvey	100.5					26.5	139	7.0	105	25.0			
4	23-200-064, 065	Placer 536, B&W 60 LLP	Jack Sioukas	179.5					38.0	200					7.0	88
5A	23-200-062	Richard Riolo	Richard Riolo	106.5			66.0	230	24.5	106	5.0	75				
5B	23-200-063	Riolo	Richard Riolo	51.0			21.0	74	20.0	103						
5C	23-200-015, 028	Riolo LP	Gidaro Group	241.5					163.0	864	22.0	330	9.0		4.0	50
6	23-200-018	Dana- Yeck	Frances Shadwick; Susan Pilanski	39.0					14.5	79	1.5	23				
7	23-200-045, 066	Woodside Reynen & Bardis 356	Mike Winn	357.0			19.0	67	154.5	825	46.5	698			6.5	82
8	23-200-041	Spinelli/ Millspin Investments, LP	Donna Miller; Joan Williams	123.5			33.0	116	25.5	117						
9	23-200-010, 012 & 013	PCLS, LLC	Bob Russell	326.0			153.0	544	51.5	330	8.0	120				
10	23-200-009	Dyer Lane LP	John Manikas; Sam Miller	242.0			34.5	121	128.5	681	10.5	158				
11	23-200-011	P.G.G. Properties	Gus Galaxidas	79.0			23.0	81	25.0	135						
12A	23-200-067	Tony Giannoni	Tony Giannoni	196.0							42.5	631	33.5		30.0	378
12B	23-200-068	Pellini, et al	Jim Galovan	102.0					64.0	342					3.0	38
13	23-010-024	Cabral, et al	Cabral, et al	80.0					20.0	107	7.0	105		17.5		
14	23-010-026	D.F. Properties, Inc.	Ken Denio; Jeff Ronten	80.0					12.0	58						
15	23-010-029	Palladay Greens, LLC	Tony Gallas	202.0			20.0	70	117.0	614	10.0	150			3.0	38
16	23-010-006	Placer 88 Investments	Victor Vasquez	94.0			43.0	151	20.0	107						
17	23-010-013	J.A. Sioukas Family Partners LP	Jack Sioukas	19.5			12.0	42	7.5	38						
19	23-010-021, 022 & 023; 23-150-026, 027; 23-180-005, 008	Baseline A&B Holding/ Lennar Winncrest	Bob Shattuck; Julie Hanson	816.5			98.0	343	211.5	1,065	24.0	360		17.0	13.5	170
21	23-019-016	Pandeleon	Gus Galaxidas	10.5			10.5	37								
22	23-010-028	Slight	Slight	22.5					14.0	73						
23	23-160-011	PMF5C	May Fong	92.5			49.5	173	8.5	41						
24	23-160-004	Pandeleon, et al	Gus Galaxidas	94.0			52.0	182	11.0	52						
SPA	various	various	N/A	979.0	979.0	411										
Totals				5,230.0	979.0	411	991.0	3,455	1,196.0	6,266	190.0	2844	67.5	34.5	67.0	844

LAND USE

BP/PC ⁽³⁾	Pub ⁽⁴⁾	Schools			Parks ⁽⁵⁾	OS	Major Roads	Total Units	12 ⁽⁶⁾ REL Sites	Add'l Units @ LDR density	Current Total w/ REL
Acres	Acres	ES Acres	MS Acres	HS Acres	Acres	Acres	Acres	Units	Acres	Units	Units
	8.0				22.0	88.0	20.0	903	8.0	28	931
	9.0				2.0	4.0	7.0	222	9.0	31	253
	6.0				5.0	19.0	4.5	383	6.0	21	404
	4.0				4.0	26.0	8.0	244	4.0	14	258
91.0	7.0				6.0	20.0	10.5	288	7.0	25	313
					3.0		8.0	411			411
						5.0	5.0	177			177
			20.0		7.0	6.5	10.0	1,244			1,244
						18.0	5.0	102			102
	12.5	10.0			19.0	61.0	28.0	1,671	6.0	21	1,692
					32.0	27.0	6.0	233			233
		10.0			12.0	61.5	30.0	994			994
	5.0	10.0			8.5	30.0	15.0	959	5.0	18	977
					1.5	27.5	2.0	215			215
	11.5				11.5	27.0	40.0	1,009	2.0	7	1,016
		10.0			6.0	6.5	12.5	380			380
	7.5				3.0	13.0	12.0	212	4.5	16	228
35.0	4.5				1.0	20.0	7.5	58			58
	7.0				6.5	23.0	15.5	872	7.0	25	897
	5.5				4.0	16.0	5.5	258	5.5	19	277
								80			80
32.5	58.0	20.0	20.0	40.0	54.0	159.5	68.5	1,938	25.0	87	2,025
								37			37
					2.0	6.5		73			73
					5.0	22.5	7.0	214			214
					2.0	26.5	2.5	234			234
								411			411
158.5	145.5	60.0	40.0	40.0	217.0	714.0	330.0	13,820	89.0	312	14,132

Notes:

- (1) Acres and units are approximations and subject to change with more detailed mapping, final alignment of roadways, etc.
- (2) CMU units are calculated at 70% area coverage.
- (3) Thirty-one (31) acres may be a BP or PC land use (See Figure 3.1: Land Use Diagram for site location.)
- (4) Public acres include religious sites.
- (5) Twenty-two (22.0) acres of parks found in the active adult community (Property #1A) are private parks.
- (6) Three (3) acres of religious sites are located under power lines and do not count toward bonus density units.

LAND USE

3.6 LAND USE ANALYSIS

3.6.1 POPULATION SUMMARY

At final build-out, the population of Placer Vineyards is estimated to be approximately 34,762 residents. Table 3.4 is a summary of the number of residential unit types and an estimate of the total population of the Plan Area at build-out.

3.6.2 HOUSING SUMMARY

Residential Density:

Residential land uses encompass approximately 65.0% of the total property within the Plan Area, of which 18.7% is designated as a

Special Planning Area (SPA). The distribution of residential unit types is indicated below in Table 3-4.

Residential Development Standards:

Residential development standards for residential land use designations can be found in Appendix A, "Land Use and Development Standards." Residential design guidelines are contained in Chapter VI, "Community Design."

Density Transfer for Religious Sites

Religious sites designated in the Plan Area are overlay zones with underlying land use applications, as indicated in Figure 3.1: the land use diagram. Discussion of residential density transfer within the Plan Area is contained in Policy 3.12 and Policy 3.13 and in Chapter IX, "Implementation."

Table 3-4 Population and Housing Summary

Unit Type	Calculated Density (du/ac)	Dwelling Units (du)	% Mix of Units	Household Size (population / du)	Estimated Population
Low Density (Active Adult)	3.5	903	6.4%	1.8	1,625
Low Density ⁽¹⁾	3.5	2,864	20.3%	2.7	7,733
Medium Density	5.24	6,266	44.3%	2.7	16,918
High Density	15	2,844	20.1%	2	5,688
Commercial Mixed Use	18	844	6.0%	2	1,688
Special Planning Area	0.42	411	2.9%	2.7	1,110
Total		14,132	100.0%		34,762

Notes:

(1) Includes density bonus units from religious sites

Affordable Housing

The Placer County Housing Element sets forth policies and programs intended to achieve the County's fair-share regional housing allocation and to provide an adequate housing supply for county citizens of all income levels. Placer Vineyards will be required to construct 10% of the dwelling units, within the boundary of the project affordable to very low-, low-, and moderate-income households. The affordable-housing program and any affordable-housing agreement for the Plan Area shall be determined in accordance with the policies of this Specific Plan, the General Plan Housing Element, County policies, and the approved Development Agreement.

Under current County development standards, the project will be required to provide land to accommodate 1,413 units for very low-, low-, and moderate-income households, as distributed in Table 3-5.

For the purposes of this plan, housing affordability is based on household income categories defined by the U.S. Department of Housing and Urban Development (HUD) and the Placer County Department of Housing and Community Development (HCD). Very-low-income households have incomes no greater than 50% of the Placer County median income. Low-income households have incomes between 51% and 80% of the Placer County median income and moderate-income households have incomes between 81% and 100% of the median income. Incomes are adjusted by household size. HCD determines the median income for Placer County annually.

The Placer Vineyards affordable-housing program will focus on distributing affordable units within High Density Residential (HDR) and Commercial/Mixed-Use (CMU) parcels. These parcels generally have lower per-unit land and development costs and provide the greatest opportunity to create affordable housing. However, affordable housing may also be provided in all other residential areas.

Table 3-5 Summary of Affordable-Housing Obligation

Affordability Category	Required Allocation (Percentage of Total Units)	Number of Affordable Units Required
Very Low Income	4%	565
Low Income	4%	565
Moderate Income	2%	283
Total	10%	1,413

Affordable-Housing Policies

Policy 3.24 Affordable-Housing Requirement.

In compliance with the Placer County affordable-housing policy, new development shall provide at least 10% of the total residential units in the Plan Area (1,413 units) for multifamily rental or for sale at a price affordable to low-income households.

Policy 3.25 Affordable-Housing Obligation.

Owners of residential land will be required to satisfy the affordable-housing obligation by constructing a minimum of 10% of the units identified in Table 3-5 for occupancy by very low-, low-, and moderate-income households.

Policy 3.26 Affordable-Housing Options.

While individual property owners are responsible for ensuring that land sufficient to accommodate the number of affordable units is available, flexibility regarding how the units are provided is encouraged. Property owners may construct the units as part of their market-rate developments concurrent with and in proportion with the development of market-rate units within the balance of the property, or they may choose to use one or more of the affordable-housing options specified in the development agreement.

Units may be rentals or for sale. Rental units shall be made available for a period of no less than 55 years from the date of occupancy. For-sale units shall be available for a period no less than 30 years from the date of occupancy.

Policy 3.27 Distribution.

Affordable housing units shall be focused on High Density Residential (HDR) and Commercial/Mixed Use (CMU) parcels. However, affordable housing may also be provided in other residential land use areas. Refer to the Development Agreement for the allocation of affordable-housing units.

Policy 3.28 Concurrent Development of Affordable Units.

Landowners and the County shall enter into a development agreement that ensures, generally, concurrent development of affordable-housing units and development of market-rate units. At the time of approval of the Specific Plan, the development agreement will be required to identify the terms for the implementation of affordable-housing units and the parcels where affordable-housing units shall be allocated. Affordable units shall also be identified on all individual tentative subdivision maps.

3.6.3 EMPLOYMENT SUMMARY

Table 3.7 estimates potential jobs based on the projected number of employees per acre for office and retail uses. The estimate for school employees assumes one employee per 17 students. At full build-out, the Plan Area will provide approximately 7,594 jobs or approximately 0.5 job per household.

Table 3-6 Employment Summary

Land Use Category	Acres	F.A.R.	Gross Square Feet (GSF)	GSF/ Employee	Total Jobs
Retail Uses					
COM- Commercial Retail	34.00	0.25	370,260	500	741
CMU- Commercial Mixed Use Retail (15% of CMU Total Area)	10.05	0.45	197,000	500	394
Town Center Commercial Retail (80% of Town Center Commercial Total)	26.80	0.45	525,334	500	1,051
BP- Business Park ⁽¹⁾ Retail (10% of BP Total Area)	9.85	0.25	107,267	500	215
PC- Power Center (100% Retail)	60.00	0.25	653,400	500	1,307
Subtotal Retail Uses	140.70				3,707
Office Uses					
O- Office	34.50	0.30	450,486	400	1,127
CMU- Commercial Mixed Use Retail (15% of CMU Total Area)	10.05	0.45	197,000	333	592
Town Center Commercial Office(20% of Town Center Commercial Total)	6.70	0.45	131,333	333	394
BP- Business Park ⁽¹⁾ Retail (90% of BP Total Area)	88.65	0.25	965,399	750	1,287
Subtotal Office Uses	139.90		1,755,578		3,400
Schools ⁽²⁾	140.00		8,258 students	1 per 17 students	487
Total	420.60		3,597,838		7,594

Notes:

¹ Thirty-one acres may be a BP or PC land use (See Figure 3.1, "Land Use Diagram," for site location).² Refer to school enrollment summary table.

3.7 LAND USE DESIGN AND COMPATIBILITY

Good planning and design can help to increase compatibility between different land uses, reduce potential conflicts, and generally make for better neighbors. The design and land use pattern of Placer Vineyards is organized to provide an appropriate level of compatibility to adjoining rural residential and agricultural uses as well as between higher intensity commercial and adjoining residential uses.

Compatibility of adjoining land uses is concerned with potential impacts and nuisances that may be created as a result of different levels of activity. Examples of such nuisances may include noise, odors, light, and dust, use of chemicals and fertilizers, unwanted traffic and congestion, unwanted views, shade and shadow impacts, and the height, scale and character of the built environment. Creating greater compatibility between disparate land use activities can be achieved through use of appropriate land use patterns and site designs, providing appropriate buffers, or through increased setbacks.

Goal 3.17 The site design and land use patterns of Placer Vineyards are organized to provide an appropriate level of compatibility to adjoining land uses and reduce potential conflicts.

Policy 3.29 Compatibility to Adjoining Large-Lot Rural and Agricultural Uses.

The design and land use pattern of Placer Vineyards shall be organized to provide an appropriate level of compatibility to adjoining rural residential and agricultural uses.

1. *Land use intensities and densities in Placer Vineyards should be stepped down approaching or adjoining rural residential and agricultural uses to create a more compatible transition between uses.*
2. *Open space buffers shall be provided along the entire edge of the Special Planning Area. Refer to Section 7.3, "Open Space," in Chapter VII, "Parks and Open Space," for the design of open space landscape buffer areas adjacent to the SPA (see Figure 7.10 for required open space buffer setbacks and locations).*
3. *To buffer land in agricultural preserve located north of Baseline Road, a minimum 200-foot building setback shall be maintained from the north right-of-way line of Baseline Road for all non-open space and non-infrastructure-related land uses located south of Baseline Road. The 200-setback from the north right-of-way line shall only apply to those parcels that are located south of an agricultural preserve that remains under contract at the time building permits are issued for affected parcels within the Specific Plan Area.*

4. *Open space setbacks and surface drainage swales should be used as a buffer between residential and adjoining agricultural and rural land uses.*
5. *Site design of residential neighborhoods shall employ a number of techniques as a buffer to adjoining uses, including larger lots, larger front or rear yard setbacks, loop roads, cul-de-sacs, single-loaded streets, and open space and landscaped setback buffers. Refer to Section 6.4.1, "General Lot Design," in Chapter VI, "Community Design," for residential lot design guidelines.*
6. *Local streets in new residential neighborhoods should avoid connections to existing local rural lanes and streets to avoid traffic and parking in adjoining agricultural areas.*

Policy 3.30 Compatibility of Residential Uses Adjacent to Commercial and Employment Uses.

The design and land use pattern of Placer Vineyards shall be organized to provide an appropriate level of compatibility between residential neighborhoods and adjoining commercial and higher intensity office uses.

1. *Residential densities in Placer Vineyards should create a transition between commercial and office uses and adjoining low-density residential neighborhoods. Transitional uses may include higher density residential uses, public and quasi-public uses, open spaces, and parks.*
2. *Local streets should avoid direct connections between large commercial centers and surrounding residential areas that would allow commercial traffic to pass through the residential neighborhoods and affect local streets with commercial parking.*
3. *Open space setbacks, parks, and surface drainage swales are appropriate buffers between residential uses and adjoining higher intensity commercial and office uses.*
4. *Site design of residential neighborhoods can employ a number of techniques as a buffer to adjoining uses, as indicated in Figure 6.21 in Chapter VI, "Community Design." Such techniques include larger setbacks, loop roads, cul-de-sacs, frontage roads, and open space and landscaped setback buffers.*

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CHAPTER IV: ENVIRONMENTAL RESOURCES



4.1 ENVIRONMENTAL RESOURCE CONCEPTS

Context

This chapter identifies the environmental conditions and sensitive resources found in the Plan Area. Goals and policies contained in this Specific Plan shall guide the conservation, protection, or mitigation of existing environmental conditions and sensitive resources. This chapter addresses seven key areas: wetland resources, special-status species, oak and riparian woodlands, water quality and conservation, energy conservation, air quality, and noise.

The existing environmental conditions present in the Plan Area were taken into account during development of the land use plan. The land use plan is designed to protect significant, sensitive resources in open space and to minimize the impacts of urban development on the existing and natural communities in the Plan Area, to the extent feasible. This Specific Plan, however, recognizes and provides off-site mitigation of environmental resources. Through this approach of on- and off-site environmental mitigation, the potential to protect large areas of significant open space is maximized.

Goal 4.1 Establish a comprehensive approach for the replacement of affected open space and agricultural and habitat areas.

Placer County Conservation Plan

Placer County is currently preparing a Natural Community Conservation Plan and Habitat Conservation Plan to address the conservation of natural communities, endangered species, and other less sensitive species of native wildlife. At the same time the County is pursuing a California Department of Fish and Game (DFG) Master Streambed Alteration Agreement, and Clean Water Act Section 401 water quality certification. Collectively all these activities have been termed the Placer County Conservation Plan (PCCP). The County is also in the process of applying for a Clean Water Act Section 404 Programmatic General Permit through a County Aquatic Resource Permit (CARP).

The purpose of the PCCP will be to encourage and simplify the process of conserving sensitive habitats for special-status species. The Placer County General Plan and the PCCP will set the minimum mitigation ratios needed for the off-site mitigation component of the eventual federal/ state/ local mitigation package. All projects designed during the preparation of the current first phase of preparation of the PCCP are to be consistent with the principles and objectives of the conservation process. Because activities related to implementation of the Specific Plan may commence before the approval of Phase 1 of the PCCP, this Specific Plan and the mitigation measures included in the project EIR are designed to be implemented before approval of the PCCP.

Placer Vineyards Open Space

Mitigation and Management Plan

The property owners within the Plan Area have developed a strategy and program designed to reduce the impacts of the Specific Plan on open space and biological and agricultural resources. The intent of this mitigation strategy is to provide a single, all-inclusive mitigation measure designed to simultaneously address possible impacts on all biological resources of concern, while also addressing potential impacts on open space and agricultural lands. The goal in devising this strategy is to formulate a biological protection, preservation, and mitigation program that includes measures likely to find their way into the PCCP, while also mitigating impacts to open space and agricultural lands. The mitigation strategy is formulated to simultaneously satisfy the requirements of CEQA, the Placer County General Plan, and other federal, state, and local statutes, regulations, and policies that affect open space, agricultural lands, and biological resources. The program also seeks to strike a reasonable balance between on-site resource avoidance and off-site preservation and restoration.



To address the need for replacement habitat, agriculture and open space areas, six potential off-site mitigation sites have been identified for the project. Placer Vineyards property owners may either choose to acquire land located in the six mitigation sites, or alternate mitigation sites may be acquired that would achieve comparable mitigation ratios. All off-site mitigation must be in accordance with the terms of the PCCP once it is approved, or as permitted by the U.S. Army Corps of Engineers (USACE), U.S. Fish and Wildlife Service (USFWS), and DFG.

The property owners' proposal also requires that a combination of one or more mitigation sites establish a core preserve area of approximately 1,000 acres set aside and protected by permanent conservation easement before the initiation of any ground-disturbing activities. The remaining mitigation requirements, beyond the 1,000 acres of open space required to be set aside, are to be addressed on an incremental basis as the development of individual projects proceed. At the time of establishment of the preserves, at the time of additions to preserves, and/ or at the time of incremental additions to the geographic scope of a preserve, a Management Plan for the operation of the preserve lands must be approved by the County.

ENVIRONMENTAL RESOURCES

It is contemplated that mitigation areas may be discontinuous with one another as a result of additions of lands to preserve holdings so long as they meet the minimum acreage and location requirements of mitigation measure 4.4-1 in the Specific Plan EIR. Those requirements include a minimum area of 200 acres and location within the General Plan Agricultural and Open Space Categories. Subsequent Specific Plan projects shall mitigate (for agriculture, wetlands, and/ or habitat) through the establishment of preserve areas that, to the extent feasible, are located adjacent to the core preserve or other existing preserve sites.

Policy 4.1 Open Space Mitigation and Management Plans.

One acre of open space will be preserved within Placer County for each acre of open space affected within the Specific Plan area. The process through which this will be accomplished will be the approval and implementation of a series of Open Space Mitigation and Management Plans that address the management of a specific property to be preserved for mitigation of lost open space, agricultural land, and habitat. An Open Space Mitigation and Management Plan will be required for each individual development project or grouping of projects within the Specific Plan area.

4.2 WETLAND RESOURCES

Wetland resources include various types of water features like creeks, drainage basins, lakes, ponds, marshes, and seasonal wetlands. Wetlands can also be perennial and seasonal water features. Wetlands are an important part of the environmental condition because wetlands support a variety of sensitive wildlife and plant species.

Two broad categories of wetland types are identified in the Plan Area: Depressional wetlands and Riverine wetlands. Depressional wetlands include vernal pools, seasonal wetland, seasonal marsh, seasonal drainage, and ponds. Riverine wetlands include a perennial drainage (Dry Creek) and ephemeral/intermittent drainage.

Other waters also located in the Plan Area are stock ponds, channels, and ditches. Refer to Figure 4.1 for an illustration of the location and extent of existing wetlands. See the Placer Vineyards EIR for a more detailed description and representation of the existing wetlands. Additional detailed analysis will be required for individual project sites with the submittal of development proposals.

4.2.1 WETLAND TYPES

Descriptions of wetlands found in the Plan Area are provided below.

Depressional Wetlands

Vernal Pools:

Vernal pools are shallow depressions with an underlying hardpan layer that causes them to inundate. Vernal pools typically support plant species found in the Sacramento Valley.

Seasonal Wetland:

Seasonally inundated basins are scattered throughout the Plan Area. These areas may be categorized as seasonal wetlands depending on their floristic composition and hydrology. Seasonal wetlands can be found within swales, drainages, or depressions and typically support wetland plants, including grasses, native plants, and nonnative forbs.

Seasonal Marsh:

Seasonal marshes occur when water remains in an intermittent drainage long enough that marsh vegetation becomes established. Riparian habitat occurs along the southeastern edge of the project adjacent to Dry Creek.

Seasonal Drainage:

Seasonal drainage conveys water during the rainy season and become dry during the remainder of the year. Seasonal drainage is typically inundated during storm events and remains saturated into the vegetation growing season.

Ponds:

Several large hydrologic features are present in the Plan Area, consisting of bermed swales, natural basins, and artificial, excavated stock ponds. Ponds support little or a fringe of perennial vegetation, dominated by cattail, tule, and common rush.

Riverine Wetlands

Ephemeral/Intermittent Drainage:

Two types of ephemeral drainage features are found in the Plan Area: intermittent drainage and drainage swales. Intermittent drainages can be several feet wide and are typically devoid of vegetation because of fast-moving water. Drainage swales are hydrologic linear features and have floristic characteristics similar to seasonal wetlands, including non-native grasses and forbs.

Perennial Drainage:

Dry Creek runs along the Specific Plan Area southeastern boundary and has water flowing year round. Vegetation such as Goodding's Willow, Fremont's cottonwood, Valley Oak, and herbaceous species grow along the banks of Dry Creek.

4.2.2 WETLANDS AVOIDANCE AND PRESERVATION

One of the first steps in designing the land use plan for the Plan Area was to identify existing environmentally sensitive areas, including wetlands. Responding to the mapping of sensitive areas, the land use plan designates as open space areas those sites along natural drainage corridors, including wetlands, and other environmentally sensitive areas.

The intent of this approach is to preserve the highest quality and most contiguous wetlands within open space areas and at sites along natural drainage corridors. However, indirect impacts on preserved wetlands may occur based on surrounding urbanization. Wetlands that are preserved may require buffers from urban development. Long-term wetland preservation may also better be achieved in large off-site preserves, which minimize these urban edge effects.

The final design of wetland corridors and open space areas will be determined during site-specific development proposals and associated site-specific wetland delineations. Although not reflected within the land use for the Placer Vineyards site, it is anticipated that lands containing off-site wetlands and open space will also be preserved in perpetuity as an element of plan implementation.

Goal 4.2 Avoid and minimize adverse impacts on wetlands to the extent feasible.

Policy 4.2 *Individual development projects shall, to the extent feasible, develop plans that will preserve and protect existing wetland areas.*

Goal 4.3 Develop a plan for mitigation of disturbance of on-site wetlands.

Policy 4.3 *Where wetland avoidance is not feasible, a wetland mitigation plan will be developed before site disturbance to mitigate all wetland impacts. Mitigation plans will be prepared in accordance with all state and federal regulations and in conjunction with the request for permits from regulatory agencies.*

Policy 4.4 *Wetland feasibility studies will be prepared to ensure successful establishment of the compensation wetlands in conjunction with the request for permits from regulatory agencies.*

Policy 4.5 *Compensation wetlands will be constructed within designated open space areas of the Plan Area; or wetland mitigation credits will be purchased from the USFWS approved mitigation bank; or land at an off-site location will be purchased to preserve and or construct mitigation wetlands; or a combination of these alternatives will be implemented.*

Goal 4.4 Establish a maintenance and monitoring program to ensure that wetland compensation areas are protected and mitigation measures are successful.

Policy 4.6 *Maintenance and monitoring of wetland compensation areas will be conducted in accordance with requirements of USACE and pursuant to the issuance of a Section 404 permit.*

Policy 4.7 *Maintenance of wetland compensation areas will be the responsibility of a County Service Agency (CSA) or other funding mechanism satisfactory to USACE and Placer County.*

Policy 4.8 *Monitoring of the efficacy of the mitigation program will comply with federal agency requirements as well as the California Clean Water Act and California Department of Fish and Game (CDFG) Code, Streambed Alteration Agreements, and all CDFG provisions.*

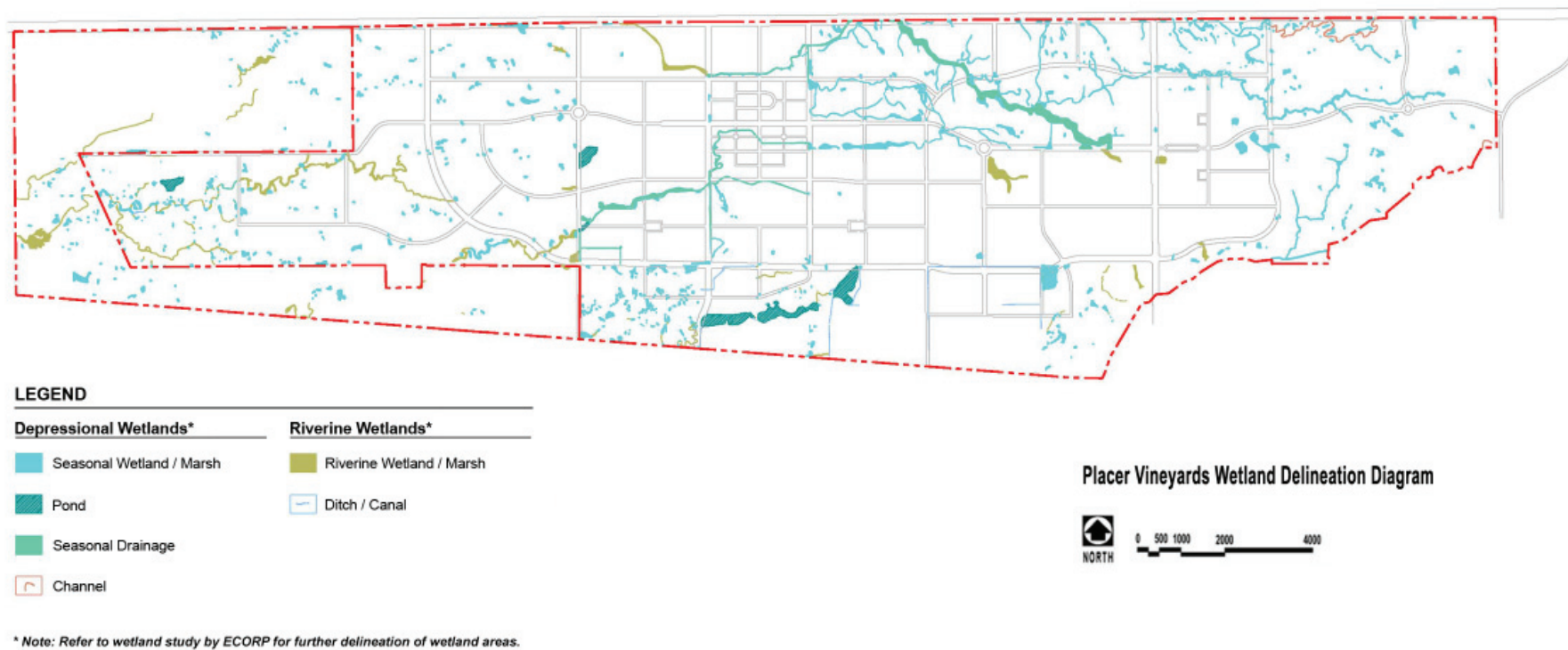
Policy 4.9 *Maintenance and monitoring programs will be required for compensation wetlands purchased in mitigation banks.*

Goal 4.5 Provide development plan features that will ensure the long-term health of wetland areas.

Policy 4.10 *Only passive recreation activities compatible with natural communities will be allowed in wetland preserve areas.*

Policy 4.11 *Hunting, dumping, operation of motorcycles, or any other activities that could be detrimental to the wetland ecosystems are strictly prohibited.*

Figure 4.1 Wetland Diagram



Source: ECORP 2005

4.3 SPECIAL-STATUS SPECIES

The Plan Area incorporates habitat that support special-status species. The land use plan designed for the Plan Area attempts to avoid potential development impacts on sensitive species by preserving habitat areas, where feasible. Site-specific biological surveys, conducted as part of individual project proposals will verify existing habitat and species types.

4.3.1 SPECIAL-STATUS SPECIES HABITAT AVOIDANCE

Existing environmentally sensitive areas were identified during the design of the land use plan for the Plan Area. As a result, the land use plan designates numerous open space areas and sites around environmentally sensitive areas.

The overall intent of this approach is to preserve the existing sensitive habitats. However, impacts of urban projects on existing sensitive habitats may occur based on future development designs. Sensitive habitats that are preserved require buffers from urban development to provide a transition or barrier between urban development (e.g., human activity, intrusion, noise, litter) and sensitive habitats. The final configuration and design of open space areas will be determined during site-specific development proposals and associated site-specific biological surveys.

Goal 4.6 Identify potential special-status species habitat areas and mitigate impacts on these areas.

Policy 4.12 *Biological surveys will be conducted to identify potentially occurring special-status species before disturbance of habitat areas and in conjunction with requests for permits from regulatory agencies.*

Policy 4.13 *Where special-status species habitats are indicated, project-specific mitigation measures will be developed in consultation with Placer County, DFG, and/or USFWS.*

Policy 4.14 *Where state or federally listed special-status species may be adversely affected, required consultation will be conducted and/or appropriate permits obtained before disturbance of habitat areas.*

4.4 OAK AND RIPARIAN WOODLANDS

The Plan Area historically involved grazing and dry land farming. Two large stands of valley oaks still remain in the east and central portions of the Plan Area. Oak trees grow along Dyer Lane and riparian woodlands are found along Dry Creek. The land use plan for the Plan Area designates open space uses to preserve the oaks and riparian woodlands.

4.4.1 TREE PRESERVATION

All oaks and riparian woodlands located in the Plan Area are subject to the Placer County Tree Preservation Ordinance and the policies of this Specific Plan. Measures provided in this Specific Plan apply to both private developments and public works projects.

Goal 4.7 Preserve oak trees and riparian woodlands.

Policy 4.15 *Oaks and other native trees with trunk diameters 6 inches or greater, measured at 4 feet above grade, will be preserved wherever feasible.*

Policy 4.16 *Location and preservation of oaks and other native trees will be indicated on site-specific, tentative maps.*

Policy 4.17 *Mitigation for trees removed from existing riparian or improved drainage corridors will be accomplished according to the following procedures:*

- ♦ *For each riparian tree removed, one 15-gallon tree, one 2-inch by 10-inch tube container (Deepot 40) seedling for each inch of diameter of the removed tree, and three 1-gallon shrubs will be planted in the riparian or improved drainage corridors.*
- ♦ *For each oak tree greater than 6 inches diameter at breast height that is removed, one 15-gallon tree, one 2-inch by 10-inch tube container (Deepot 40) seedling for each inch of diameter of the removed tree, and three 1-gallon shrubs will be planted.*

Policy 4.18 *Site-specific design and tree preservation, removal, and mitigation will be identified on an individual project basis and shall conform to the requirements developed in the Open Space Mitigation and Management Plan.*

Policy 4.19 *During construction, brightly colored, temporary plastic fencing that is at least 4 feet tall will be erected 1 foot outside the outermost edge of the tree's dripline or around the combined dripline of groves or lines of trees for protection. Signs will be erected in accordance with the Placer County Tree Preservation Ordinance.*

Policy 4.20 *Soil disruptions within driplines of existing oaks and other native trees identified for preservation will be avoided where feasible. Paving shall not be placed in the driplines of trees to be preserved.*

Policy 4.21 *Grading and landscaping will be designed to prevent overspray or runoff within tree driplines.*

Policy 4.22 *Irrigation will not occur within the driplines of indigenous oaks except as prescribed by the project arborist or landscape architect.*

Policy 4.23 *Plantings within driplines of indigenous oaks will be limited to species that require no irrigation and are tolerant of the natural semiarid habitat of the oaks.*

4.5 WATER QUALITY AND CONSERVATION

Development within the Plan Area could potentially have adverse impacts on water quality, including short-term impacts from construction activities and long-term impacts from urban runoff. The Specific Plan minimizes potential water quality impacts through preservation of existing drainage ways and establishing specific locations for detention/ water quality basins and best management practices (BMPs) to contain, retain, and filter storm water runoff.

Goal 4.8 Reduce water quality impacts within the Plan Area to the maximum extent practicable.

Goal 4.9 Site-specific development projects should incorporate low-impact development design principles into the site layout.

Policy 4.24 Storm Water Quality Improvements.

Storm water management improvements disbursed through the Plan Area provide treatment to runoff before it enters the natural drainage conveyance systems in open space areas. In addition, by integrating the storm water management system throughout the Plan Area, individual parcels can provide specific storm water management elements that respond to the particular site conditions. This will promote the removal of various potential pollutants from each parcel before they are discharged into the drainage system. The following standards will apply to development projects.

1. *During construction, BMPs shall be provided to stabilize soils in place and minimize the amount of sediment entering the storm drain system and drainage ways. BMPs shall generally consist of a combination of the following measures: Minimizing soil disturbance, hydroseeding, fiber rolls, inlet protection, stabilized construction access, etc.*
2. *After construction, regional water quality facilities identified in the Master Project Drainage Report shall be constructed concurrently with the backbone drainage infrastructure for permanent water quality treatment.*
3. *Development projects shall provide site-specific postconstruction water quality treatment facilities on-site to capture and remove the pollutants before they are discharged from the site. Water quality treatment facilities shall*

generally consist of a combination of the following measures: Vegetated swales, infiltration trenches/basins, filter strips, sand/oil separators, trench drains, porous pavement, etc.

Policy 4.25 Low-Impact Development Design.

Site-specific development projects shall incorporate low-impact development design strategies that may include:

1. *Minimizing and reducing impervious surfaces of site development, i.e., roadways, sidewalks, driveways, parking areas, and rooftops*
2. *Breaking up large areas of impervious surface and directing flows from these areas to stabilized vegetated areas*
3. *Conserving natural resources and ecosystems by minimizing the impacts of development on sensitive site features, such as streams, floodplains, wetlands, woodlands, and significant on-site vegetation.*
4. *Maintaining natural drainage courses*
5. *Providing runoff storage dispersed uniformly throughout the site through the use of a variety of detention, retention, and runoff techniques that may include:*
 - a. *Bioretention facilities and swales (shallow vegetated depressions engineered to collect, store and infiltrate runoff)*
 - b. *Filter strips (grass or other close-growing vegetation planted between polluting sources and downstream receiving water bodies)*
 - c. *Dry wells and infiltration trenches (excavated trenches filled with stone to control rooftop runoff and allow slow release back into the soil)*

4.5.1 GROUNDWATER RECHARGE

Groundwater supplies are recharged by rainwater that percolates through to the saturated zone of the soil. The principal means of groundwater recharge in the Sacramento Valley is accomplished within the streambeds that cross the valley. The rate and quality of rainwater reaching the saturation zone depends on a number of factors, such as the amount and duration of precipitation, soil type, moisture content on the soil, and vertical permeability of the unsaturated zone. Urban land uses also affect groundwater recharge by reducing the amount of permeable surface, which limits the amount of rainwater able to percolate into the soil. In addition, groundwater levels can be affected by pumping for agriculture and urban uses.

The entirety of the creek system will remain in place and will continue to serve as the principal means of groundwater recharge in this area. The land use design prepared for the Plan Area aims to reduce the effects of urbanization on groundwater recharge by designating 714 acres (13.7% of the Plan Area) as open space and preserving existing drainage ways.

Goal 4.10 Conserve and preserve water quality within the Placer Vineyards Plan Area.

Policy 4.26 *Site grading will be undertaken and controlled so that sediment runoff is minimized. In locations approved by the County detention basins may be located in open space areas so as to minimize increases in peak flows from the site. The basins may facilitate groundwater recharge, but to a limited degree because of the predominance of clay soils in the area. To minimize runoff, paved parking areas will be designed to provide the minimum amount of paving area necessary to meet required parking and circulation standards. The following standards apply to site-specific development projects.*

1. *Storm water management plans will be prepared that comply with all standards and requirements of the National Pollutant Discharge Elimination System (NPDES) and the grading, erosion, and improvement standards in the Placer County Storm Water Management Plan.*
2. *Grading plans submitted for Placer County review and approval will include an erosion and sediment control plan that includes erosion control measures to protect waterways from erosion and debris during and after construction activities.*
3. *Grading plans will be designed to minimize the area of disturbance by construction activities.*
4. *A Storm water Pollution Prevention Plan (SWPPP) will be prepared and implemented for site-specific projects.*
5. *Concurrent with construction of site improvements, storm water BMPs will be constructed and maintained in accordance with the SWPPP as approved by the Central Valley Regional Water Quality Control Board.*
6. *Drainage reports will be prepared for site-specific projects and shall comply with the Placer County Storm water Management Manual, Land Development Manual, and Placer Vineyards Master Project Drainage Report.*

Policy 4.27 *Impacts on Streams and Riparian Areas.*

Impacts on Curry Creek and Dry Creek shall be avoided through the conveyance of open space buffers and the location of adjacent land uses. A 100-foot setback shall be provided for perennial streams (Curry Creek). The majority of the active floodplain of Dry Creek lies on the opposite bank and not within the reach of Dry Creek adjacent to the Plan Area. Adequate open space protection has been designated in the Specific Plan to mitigate impacts on Dry Creek. Implementation of the Specific Plan will also ensure that there would be no net loss of riparian habitat (see Policy 4.18).

Policy 4.28 *Construction of stream crossings or other improvements in the Dry Creek and Curry Creek corridors will be kept to the absolute minimum necessary and will meet the following standards.*

1. *A Streambed Alteration Agreement will be obtained from the California Department of Fish and Game (CDFG) before commencement of construction of stream crossings.*
2. *Areas adjacent to finished improvements in Curry Creek and Dry Creek that are disturbed during construction activities will be hydroseeded and revegetated.*
3. *Disturbed areas in Curry Creek and Dry Creek not actively being developed will be planted, mulched, or otherwise protected by an acceptable means for the duration of the winter.*
4. *Construction activities within Curry Creek or Dry Creek that would result in disturbed areas being left unprotected between October 15 and March 15 will not be permitted.*
5. *Construction roads crossing creek systems will be used only when necessary and other access routes are not feasible.*
6. *Construction roads crossing creek systems will incorporate culverts if roads remain in place during the winter season.*
7. *Erosion control measures will be in place before the onset of the rainy season, but no later than October 15 during construction.*
8. *Permanent roadway stream crossings will be designed for a 100-year flood event.*
9. *Stream crossings will be designed with approaches as close to a right angle wherever feasible.*

ENVIRONMENTAL RESOURCES

10. Stream crossings will be designed to reduce erosion and stream degradation by the placement of structures.

11. Rock energy dissipaters or other Placer County–approved methods will be used at outflow points of all culverts.

Policy 4.29 *Placer County will identify a schedule of inspection and maintenance of construction sites to ensure that erosion control measures are operative through the winter period.*

Policy 4.30 *Maintenance access easements will be dedicated to Placer County on all portions of open space and stream corridors as identified on the tentative maps of development projects and approved by the County.*

Policy 4.31 *Maintenance access easements will include areas required for preserving trees, special-status species habitat, and wetland resources.*

Policy 4.32 *Use of low-water-consumption plant materials and irrigation systems will be encouraged by Placer County and the following standards will be met and implemented by site-specific development projects.*

- 1. Where available and feasible, recycled water will be used to irrigate all parks, schools, and public rights-of-way. Irrigation equipment shall be compatible with the use of reclaimed water.*
- 2. Low-volume spray irrigation systems shall be utilized for turf and groundcover areas and drip irrigation systems for shrubs and trees.*
- 3. Where recycled water is available, water-intensive landscaping may be used.*
- 4. Landscaping in improved common areas will incorporate drought-resistant varieties where practical and consistent with Placer County design guidelines.*
- 5. Landscaping within medians should be by subsurface drip irrigation systems.*

Policy 4.33 *Use of currently available water conservation devices will be encouraged by Placer County in all existing development. To accomplish this, Placer County will meter the use of potable water, and new construction must meet the following standards.*

- 1. Water-conserving design and equipment will be required in all new construction.*
- 2. Recycled water will be used for irrigation where feasible.*

4.6 SOILS

Soils in the Plan Area generally consist of clays, loams, and sandy loams. For additional information regarding soil types and characteristics within the Plan Area, refer to the Placer Vineyards Specific Plan EIR Appendix L.

Soils are categorized by the Natural Resources Conservation Service (NRCS) for their potential use as agricultural land. Most of the Plan Area, approximately 4,309 acres of farmland, are characterized as important by the California Department of Conservation. Specific Plan policies will preserve open space land elsewhere in Placer County to offset development of these lands. Refer to Section 4.1 for soils identified as agricultural resources in the Plan Area.

Goal 4.11 *Minimize impacts on important farmland through the dedication of other open space land.*

Policy 4.34 *Require the preservation of other open space/ agricultural lands elsewhere in Placer County at a ratio of 1 acre of land for each acre of land affected within the Plan Area.*

Policy 4.35 *No additional agricultural land dedications shall be required beyond the 1:1 open space dedication required under Policy 4.34 so long as the open space lands acquired are lands of similarly capable soils, designated for Agricultural/ Open Space use in the County General Plan. These lands shall have the potential to support agriculture, are undeveloped, and have an NCRS soils classification of the same or greater value than lands being impacted within the Specific Plan project property; or are undeveloped and have the same or higher value CDC categorization than lands being impacted within the Specific Plan project property.*

4.7 ENERGY CONSERVATION

The Specific Plan's land use patterns and transportation systems are designed to encourage efficient energy use through the use of nonmotorized transportation and the close proximity of residential uses to jobs and services.

Goal 4.12 Encourage efficient energy use and conservation.

Policy 4.36 *All residential units will be developed in compliance with State of California Title 24 energy conservation measures.*

Policy 4.37 *Use of passive and active solar devices such as solar collectors, solar cells, and solar heating systems, integrated into the building designs, are encouraged.*

Policy 4.38 *Building and site design should take into account the solar orientation of buildings during design and construction.*

4.8 AIR QUALITY

The Plan Area is located in the jurisdiction of the Placer County Air Pollution Control District (PCAPCD), which is the agency responsible for monitoring and regulating air pollutant emissions from stationary, mobile, and indirect sources within Placer County. Development within the Plan Area could affect air quality in Placer County and the greater Sacramento Valley. Air quality in the Sacramento Valley affects the quality of life for all residents living in the Sacramento region. The primary factors contributing to air quality in the vicinity of the Plan Area include:

- ♦ Climatic variances, temperature inversions, and low wind speeds;
- ♦ Vehicle emissions; and
- ♦ Mobile and stationary pollutants generated by localized urban development.

Vehicle trips are a major contributor to air pollution, and the number of vehicle trips is affected by the spatial design of land uses and destinations within the community. The Specific Plan includes three major features that help reduce or minimize impacts on air quality.

First, the Plan Area includes three centralized mixed-use village cores that provide neighborhood commercial uses to encourage pedestrian/bicycle use between surrounding residential areas and the village core land uses.

Second, the Specific Plan improves the regional balance of housing and jobs. Housing opportunities made available closer to employment encourage fewer long-distance commutes, consistent with the objectives of the SACOG Blueprint Plan. To this end, SACOG has designated the Placer Vineyards Plan Area as a major regional development opportunity to improve the jobs/housing balance.

Third, the land use pattern and transportation system also facilitates the use of alternative transportation choices throughout the Plan Area. The plan provides for a future bus rapid transit route and transit node within the Village Center along Watt Avenue. The Plan also uses an extensive bike and pedestrian system along roadways and major open space corridors, linking residences to the bus rapid transit system, the Village Centers and Town Center, and public facilities. A street pattern of multiple and parallel routes between destinations minimizes traffic congestion and facilitates residents to combine vehicle trips into one route.

Goal 4.13 Minimize air quality impacts on the Placer Vineyards area and the region.

Policy 4.39 *Local area source emissions shall be minimized through a variety of strategies:*

1. *Promote low-emission energy use by requiring building design features that accommodate and encourage use of alternative energy sources.*
2. *Promote low-emission energy use by incorporating landscaping conducive to passive solar energy uses including:*
 - a. *Buildings are encouraged to be oriented in a south-to-southwest direction, where feasible.*
 - b. *Deciduous trees are encouraged to be planted on the west and south sides of structures.*
 - c. *Provide landscapes with drought-resistant species and groundcovers rather than pavement to reduce heat reflection.*
 - d. *Require minimum parking lot shading at all commercial and office development.*

Policy 4.40 *Provide, on a project-specific basis, adequate buffers designed to separate emission/nuisance sources from residential uses, consistent with the Placer County General Plan.*

ENVIRONMENTAL RESOURCES

Policy 4.41 *Construction activities will comply with all requirements of grading permits and PCAPCD.*

Policy 4.42 *PCAPCD may replace or supplement air pollution control measures for individual projects as new technology and feasible measures become available over the course of the Plan buildout.*

4.9 VECTOR CONTROL AND MOSQUITO ABATEMENT

The purpose of this section is to provide guidelines that prevent new mosquito breeding sources and to apply the necessary measures that support the agencies involved in the surveillance, management, and elimination of mosquito breeding sources. Sources such as creeks, wetlands, vernal pools, and other naturally occurring habitat along with artificial sources—agricultural, industrial and residential sources—will be routinely checked and monitored for mosquito production.

Goal 4.14 Protect public health and safety by preventing the creation of mosquito breeding areas through proper drainage and routine surveillance of standing water sources for mosquito production.

Policy 4.43 *Grading shall be performed in a manner to prevent the occurrence of standing water or other areas suitable for the breeding of mosquitoes or other vectors. Water detention and related surface water conveyance features shall also be designed to prevent the breeding of mosquitoes.*

Policy 4.44 *The Placer Mosquito Abatement District shall be granted access in perpetuity to perform vector control in all common areas, including drainage, open space corridors, and park areas. Such access shall be a condition of approval of all tentative maps approved within the Plan Area.*

4.10 NOISE

A major source of noise affecting the Plan Area is vehicular traffic along arterial roadways. Other local roadways also contribute to noise in the environment. The Specific Plan will allow for development of residential uses (considered to be sensitive uses) adjacent to highly traveled roadways. As development of residential land uses occurs in the Plan Area, individual projects will be analyzed for potential noise impacts.

In most cases the edge treatments and orientation of buildings along arterial streets will reduce outdoor noise levels to an acceptable level (60 decibel day-night average noise level, community noise equivalent level [60 dB DNL] or less). In those instances where the noise level is in excess of the 60 dB DNL standards, design practices shall be implemented to reduce noise levels in outdoor use areas to less than 60 dB DNL.

To reduce noise levels, sound walls, berms, and other devices need to be constructed to buffer noise created by vehicles on adjacent residential land uses. However, the Placer County General Plan discourages the use of sound walls for noise mitigation. The General Plan encourages the use of setbacks, building orientation, and other alternatives to sound walls. The General Plan further provides that where noise mitigation measures are required to achieve adopted standards, the emphasis shall be placed upon site planning and project design. The use of noise barriers shall be considered only after all other practical design-related noise mitigation measures have been integrated into the project. The policies of this chapter and of Chapter V, “Transportation and Circulation,” and Chapter VI, “Community Design,” of this Specific Plan provide the means and methods to satisfy these General Plan requirements.

Goal 4.15 Minimize noise impacts on residential land uses.

Policy 4.45 *Edge treatments and building orientations along arterial streets will reduce outdoor noise levels to 60 dB DNL or less for residential uses and 70 dB DNL for commercial uses such as offices. In those instances where the noise level is in excess of the standard, design practices shall be implemented to reduce noise levels in outdoor use areas.*

1. *Future residential/ sensitive development along arterials and collectors shall not exceed County noise standards. Creative site planning shall be the primary means to achieve a 60 dB DNL noise level at the outdoor use area (i.e., backyards, patios, etc.). When necessary, building facades and noise barriers may be placed between the arterial roadway and the outdoor use areas (see Section 6.4.3, “Walls, Fences, and Screening,” in Chapter VI, “Community Design”).*
2. *Commercial uses along Baseline Road and Watt Avenue and some residential uses along interior arterial streets may be exposed to excessive noise levels. Where it is not possible to reduce noise in outdoor activity areas to 60 dB DNL or less in residential developments, using a practical application of the best available noise reduction measures, an exterior noise level of up to 65 dB DNL may be allowed, provided that available noise level reductions have been implemented and interior noise levels are not in excess of 45 dB DNL.*

Acoustical analyses shall be prepared for all uses exposed to levels in excess of “normally acceptable” noise levels to show how both the outdoor uses areas and indoor noise thresholds shall be met in these locations.

3. *All residences, hotels, and motel uses exposed to a noise level in excess of 60 dB DNL will require sound-rated windows, added wall insulation, and mechanical ventilation capable of achieving the indoor noise requirements of 45 dB DNL, as determined by an acoustical analysis.*
4. *To determine compliance with noise standards, site specific acoustical analyses shall be required as a part of the Subsequent Conformity Review process, during the submittal of tentative subdivision designs and grading maps. Acoustical analyses shall be used to determine appropriate noise attenuation measures (i.e. setbacks, berms, building orientation, noise walls and other noise mitigation measures within the Placer County General Plan Noise Element and the design guidelines found under Section 6.4.3 “Walls, Fences and Screening” of this Specific Plan) required to reduce traffic noise to levels that meet County noise level standards.*
5. *“The Landscape Master Plan” that will be subsequently prepared for the project shall include the design of noise attenuating features within the landscape setbacks and landscape corridor lots in the Plan Area, especially along Baseline Road, Watt Avenue and Dyer Lane where the greatest noise impacts are anticipated to occur.*

Policy 4.46 *Impacts of noise-generating uses will be minimized. Noise attenuation strategies shall be incorporated into all potential noise generating uses, and may include the following:*

1. *Outdoor use spaces shall be located behind buildings so that the building mass shields noise-sensitive uses from the noise sources.*
2. *Noise barriers shall be constructed between commercial uses and residences.*
3. *Limitations on hours of operation, maximum sound levels, and types of uses may be placed on the proposed uses of amplified sound at schools, parks, bars, restaurants, clubs, and other events.*
4. *Mechanical equipment noise at commercial and residential areas must be controlled. Methods may include quiet equipment, sound-attenuating enclosures, and noise barriers.*

5. *Full disclosure shall be required for all residential uses that are adjacent to or directly across from schools, houses of worship, neighborhood parks, playgrounds, nightclubs, bars, and restaurants with live music and entertainment venues. The disclosure should state the typical hours of operation and noises associated with the use.*
6. *Additional acoustical analysis may be required for specific noise-generating activities that have the potential to adversely affect adjacent residences or other noise-sensitive uses (i.e., hospitals, retirement homes, day-care centers, schools, etc.) The analysis should identify the potential noise level and the means by which outdoor and indoor noise levels can be controlled to achieve the normally acceptable standards.*

Policy 4.47 *Construction noise shall be controlled so as to meet applicable County codes and minimize annoyances on surrounding land uses. Construction noise abatement is critical in later phases of Placer Vineyards development when portions of residential neighborhoods are already in place. Mitigation measures to reduce constructing noise impacts may include the following:*

1. *Construction noise emanating from any construction activities for which a Grading and Building Permit is required is prohibited on Sundays and federal holidays and shall only occur:*
 - a. *Monday through Friday, 6 a.m. to 8 p.m. (during Daylight Savings Time)*
 - b. *Monday through Friday, 7 a.m. to 8 p.m. (during Standard Time)*
 - c. *Saturday, 8 a.m. to 6 p.m.*
2. *Truck traffic shall be routed through less noise-sensitive areas.*

CHAPTER V: TRANSPORTATION AND CIRCULATION



5.1 TRANSPORTATION/CIRCULATION CONCEPTS

Context

This chapter sets forth the policies for the transportation and circulation systems within the Placer Vineyards Specific Plan Area with the goal of providing a variety of circulation choices in a safe and efficient manner. Placer Vineyards has been designed to accommodate a diverse range of transportation modes- roadways, street corridors, and open space trails, for automobiles, emergency vehicles, buses, and other transit services, and bikeways and paths that accommodate pedestrians, bikers, and equestrians.

Roadway layouts for the Plan Area and their cross section designs are also presented in this chapter. A summary of projected roadway volumes of streets affected by the project and their level of service conditions at major intersections is analyzed in Section 4.7, “Transportation,” in the Placer Vineyards EIR. The proposed intersection designs for Placer Vineyard’s roadways are provided in Appendix C of this document. Pedestrian and bike circulation policies and development standards for travel via on- and off-street trails and their corresponding cross sections are also contained in this chapter. For streetscape corridor and landscape design guidelines, refer to Chapter VI, “Community Design”.

5.2 TRANSPORTATION AND CIRCULATION GOALS

The policies set forth in this chapter are guided by the following transportation and circulation goals.

- Goal 5.1** Create and maintain a balanced, multi-modal transportation system that provides for the efficient and safe movement of people, goods, and services.
- Goal 5.2** Provide a complete network of transportation improvements including thoroughfares, arterials, collectors, and local roadways.
- Goal 5.3** Locate roadways, wherever possible, adjacent to open space, public facilities, and multi-family residential and commercial uses to minimize the need for sound walls.
- Goal 5.4** Minimize street widths, orient homes to front on low-volume connector streets, and provide landscape corridors that improve the streetscape environment.
- Goal 5.5** Minimize traffic congestion in Placer Vineyards by discouraging regional thru-traffic on collector and local residential streets.
- Goal 5.6** Promote public transit systems as an alternative means of transportation to reduce traffic congestion.

- Goal 5.7** Provide a system of on- and off-street trails that connect to destinations within the Plan Area and to the regional trail network.

- Goal 5.8** Baseline Road, Watt Avenue, and their intersections with side streets shall be planned, designed, constructed, and operated to handle high thru-traffic volumes with minimum delay.



5.3 EXISTING TRANSPORTATION CONTEXT

Regional Highways and Roadways

Three major regional highways and two main arterial roadways provide access into the Plan Area as indicated in Figure 5.1. Major regional highways include State Routes (SRs) 99 and 65 and Interstate 80 (I-80). The thoroughfare streets (identified as major arterial streets in the Placer County General Plan) include Baseline Road, which connects to Sutter County and the City of Roseville and Watt Avenue, which connects south to Sacramento County.

Located approximately four miles west of the Plan Area, SR 99 is a four-lane highway that runs north-south from the Central Valley (i.e., Chico and Bakersfield) into Sutter County. SR 99 is heavily traveled by trucks between these destinations.

Four miles east of the Plan Area is I-80, an eight-lane freeway that extends from the San Francisco Bay Area to Nevada and onto the East Coast. I-80 is the primary east-west freeway running through the Sacramento Valley region. SR 99 and I-80 both provide access south to downtown Sacramento, a regional employment center for area residents.

SR 65, generally a north-south road, is located about five miles northeast of the Plan Area and provides access from I-80 to SR 70. The highway begins as a four-lane road in Rocklin and narrows down to two lanes just north of Twelve Bridges Drive in Lincoln.

Baseline Road is a thoroughfare street running east-west on the northern border of the Plan Area connecting SR 99 and I-80. Baseline Road originates in Roseville as a commercial main street, becomes Riego Road as it crosses into Sutter County, and intersects with SR 99.

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Watt Avenue is a thoroughfare street running north-south through the Plan Area. Watt Avenue terminates at Baseline Road on the northern border of the Plan Area, extends south into Sacramento County, and provides access to I-80.

Local Roadways

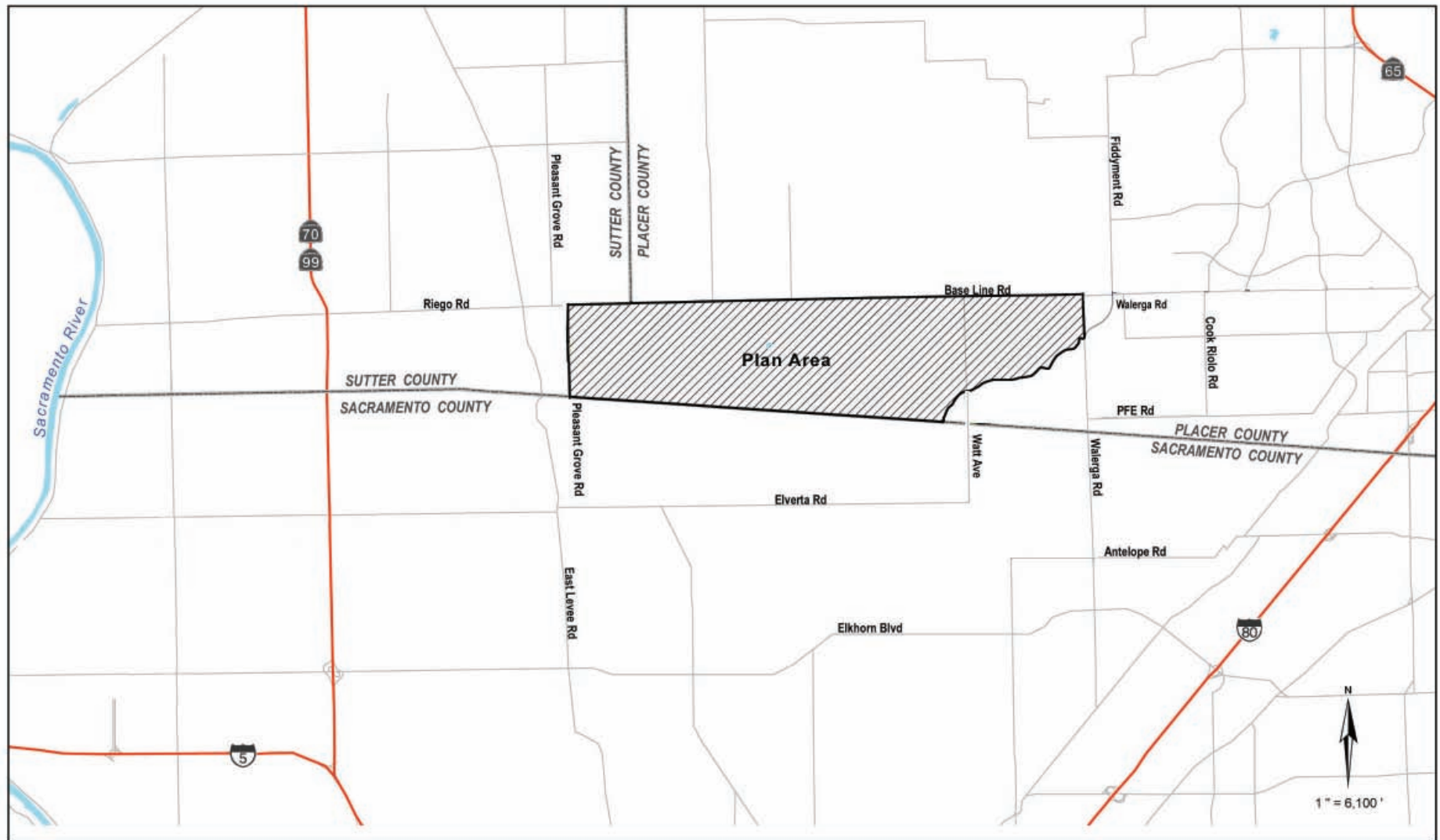
Local roadways providing access in and around the Plan Area include Fiddymment Road and Walerga Road.

Fiddymment Road is a two-lane undivided rural roadway that runs north from Baseline Road to Moore Road. It is the primary access road serving the surrounding residential developments.

Walerga Road is a two-lane undivided rural roadway that extends from Roseville Road in Sacramento County and terminates at Baseline Road. Walerga Road provides access between the Antelope area and Roseville.

Several minor rural roadways also provide access to the Plan Area. Locust and Pleasant Grove Roads are two-lane rural roadways of varying width and shoulder distances. They provide access within the Plan Area from Elverta Road to the south in Sacramento County up to Baseline Road. Palladay Road, Tanwood Road, Dyer Lane, and Colburn Street are minor rural roads that currently provide private access to properties within the Plan Area.

Figure 5.1 Local and Regional Roadways



5.4 TRANSPORTATION AND CIRCULATION ANALYSIS

Placer County's traffic model was used to determine the ability of the proposed circulation system to accommodate the anticipated traffic from the Plan Area. This model includes anticipated buildout of the Specific Plan plus development outside of the Plan Area.

A summary of projected roadway volumes on streets in the Plan Area and their overall level of service conditions at major intersections are provided in the Placer Vineyards EIR.

Policy 5.1 Level of Service Standards.

Within the boundaries of the Specific Plan Area and on its boundaries, the Placer Vineyards roadway system will be developed and managed to accommodate a Level of Service (LOS) D. Outside the Specific Plan Area, roadways shall conform to General Plan Standards that require the County to develop and maintain a minimum LOS "C" for rural and urban/suburban roadways, except within one-half mile of state highways where the standard shall be LOS "D", or as provided in Policy 5.2.

Policy 5.2 *Exceptions to General Plan Level of Service Standards. The County will allow exceptions to these LOS standards where it finds that the improvements or other measures required to achieve the LOS standards are unacceptable based on established criteria. In allowing any exception to the standards, the County shall consider the following factors:*

1. *The number of hours per day that the intersection or roadway segment would operate at conditions worse than the standard*
2. *The ability of the required improvement to significantly reduce peak hour delay and improve traffic operations*
3. *The right-of-way needs and the physical impacts on the surrounding properties*
4. *The visual aesthetics of the required improvement and its impact on community identity and characters*
5. *Environmental impacts, including air quality and noise impacts*
6. *Construction and right-of-way acquisition costs*
7. *The impacts on general safety*

8. *The impacts of the required construction phasing and traffic maintenance*
 9. *The impacts on quality of life as perceived by residents*
 10. *Consideration of other environmental, social, or economic factors on which the County may base findings to allow an exceedance of the standards*
- Exceptions to the standards will be allowed only after all feasible measures and options are explored, including alternative forms of transportation.*

5.4.1 PLAN AREA ROADWAY CIRCULATION

The new roadway circulation system for Placer Vineyards is based on a grid pattern of streets that organizes and provides access into the Plan Area. The Plan Area will be served by a network of public streets organized as a system of thoroughfares, arterials, major collectors, collectors, and local streets, as indicated in Figure 5.2.

Policy 5.3 Roadway System.

The roadway system shall comply with Figure 5.2, the street sections in Figure 5.3, and the policies and design guidelines presented in this chapter and in Chapter VI, "Community Design." Figure 5.2 is intended to be a guide to internal roadway traffic needs. As each area is developed, additional roundabouts or traffic signals may be added in the future, as determined necessary by the County, for traffic flow and traffic calming. Local streets providing property access are not indicated in Figure 5.2.

Policy 5.4 Street Section Design.

The project shall dedicate rights-of-way of sufficient width to accommodate all future anticipated lanes, including auxiliary lanes, and intersection widening for dual left-turn lanes and free right-turn lanes. The street sections proposed in Figure 5.3 are generally consistent with Placer County street standards and shall conform to the following standards. Refer also to Chapter VI, "Community Design," for more specific landscape and streetscape design guidelines.

1. *The landscape corridor lots of all streets shall be dedicated at the same time as street rights-of-way. See Figures 6.1 through 6.3 for street corridor design concepts for Baseline Road, Watt Avenue, and Dyer Lane.*
2. *Thoroughfares: Baseline Road and Watt Avenue.*
The General Plan describes thoroughfares as major arterial streets designed to carry high volumes of thru-traffic with limited travel delay. Baseline Road and Watt Avenue shall be designed as thoroughfares with on-street bike lanes adjacent to 50-foot landscape corridors and meandering bike and pedestrian

trails. They shall also include 20-foot-wide landscape medians with turnouts provided at no more than 1,100-foot intervals to provide access for emergency vehicles and landscape maintenance.

Baseline Road is projected to become six lanes divided by a raised median. Figure 5.3, Section A, illustrates the proposed street sections for Baseline Road.

At ultimate build-out, Watt Avenue is anticipated to be six to eight lanes with two lanes dedicated for bus rapid transit (BRT) right-of-way. Figure 5.3, Section B, illustrates the proposed initial phasing and ultimate build-out street sections for Watt Avenue with and without the BRT system.

Thoroughfares will provide limited access at the locations indicated in Figure 5.2. No new connections shall be allowed on thoroughfare roads in addition to those shown in Figure 5.2, unless it can be shown that the new connection will benefit overall traffic flows. Access points shall be coordinated with the County to prevent driveways with parking along thoroughfare roads.

3. Arterials: Dyer Lane and 16th Street.

Arterial streets are high-volume streets with limited, controlled intersections. Their proposed street sections are illustrated in Figure 5.3, Sections D and E. Local and collector roadways feed arterial streets to provide linkages between neighborhoods and major employment centers. Arterial roads shall be designed to be four-lane divided streets with 14-foot medians, on-street bike lanes, and 35-foot landscape corridors with separated, meandering multi-use trails. Turnouts shall be provided in the medians at no more than 1,100-foot intervals to provide access for emergency vehicles and landscape maintenance work.

Arterials will provide limited access with minimum intersection spacing at approximately every one-quarter mile (1,200 feet). Right-in/ right-out access points without median breaks may be provided spaced at a minimum of 600 feet. Residential uses abutting arterial streets should be screened appropriately with sound walls and landscape buffers.

4. Major Collector Streets

Major collector streets carry moderate traffic volumes. Major collector street sections are illustrated in Figure 5.3, Section F. Major collector streets provide access to individual development areas, neighborhoods, schools, parks, and other community amenities. Major collector streets are generally characterized as two-lane roadways with on-street bike lanes, parallel parking, and separated tree lined sidewalks within a 20-foot landscaped corridor to buffer

adjacent land uses. The minimum distance from intersections to driveways shall be 600 feet or a distance determined appropriate by the County for safe access and traffic flow.

5. Collector Streets

Collector streets carry light to moderate traffic volumes. Collector street sections are illustrated in Figure 5.3, Sections G, H, and TC2. Collector streets provide access to individual development areas, neighborhoods, schools, parks, and other community amenities. Collector streets are generally characterized as two-lane roadways with on-street bike lanes, parallel parking, and separated tree-lined sidewalks within an 18-foot landscaped corridor to buffer adjacent land uses. The minimum distance from intersections to driveways shall be 300 feet or a distance determined appropriate by the County for safe access and traffic flow.

6. Commercial Streets

Commercial streets are roadways that serve parcels within the commercial, business park, Power Center, and Town Center areas. They typically do not include bike lanes. Standards for commercial streets not included in the Town Center are shown in Figure 5.3, Section C1. Standards and street sections for the Town Center commercial streets are provided in Figure 5.3, Section TC1, and in Figures 6.12 through 6.14 of Chapter VI, "Community Design."

7. Local Streets

Local streets are not located in the circulation diagram. They provide access to neighborhoods within the Plan Area and include non-residential and residential streets. Local streets are low traffic volume, two-lane roadways with parallel parking, separated sidewalks, and tree-lined landscape parkways. Local streets will be determined in conjunction with specific site development at the time of tentative map submittal. Sections for local residential streets and cul-de-sacs are provided in Figure 5.3, Sections R1, R2, and R3.

Policy 5.5 Preservation of Oak Trees on Dyer Lane.

To the extent possible, the roadway alignment for Dyer Lane shall be designed to avoid removing and disturbing the existing oak trees on Dyer Lane.

TRANSPORTATION AND CIRCULATION

Roadway Design Guidelines

Roadways shall be designed according to the following guidelines:

1. Roads shall be designed for their dual roles as vehicular and non-vehicular transportation corridors with landscape berms or open space parkways, containing bicycle and pedestrian trails.
2. Local roadways shall be located to facilitate local circulation and shall discourage regional thru-traffic. Regional thru-traffic shall be concentrated on Baseline Road and Watt Avenue.
3. Thoroughfares, Baseline Road and Watt Avenue, shall be located at the perimeter of major development areas.
4. A finer grain network of connector streets shall be located to provide convenient access to all land use parcels.
5. East-west connector streets shall generally provide through connections between and through land use areas while north-south connector streets may be more discontinuous, terminating at parks, open space and neighborhood entries.
6. Multiple points of access to development areas are encouraged, to maximize the number of streets that carry traffic and the distribution of traffic loads from each development area.
7. Neighborhoods should be designed with internal connecting streets to encourage a more open and accessible network for residents and improve the distribution of traffic throughout the roadway network. However, cul-de-sac roads are not excluded within residential areas as long as they are not excessively used.
8. Development areas and commercial sites shall be interconnected to allow for internal circulation and minimize impacts on adjacent arterial roadways.
9. Cul-de-sac roads should be no greater than 800 feet in length.
10. Streetscapes shall be designed in accordance with the design guidelines found in Chapter VI, "Community Design."

Figure 5.2 Roadway Circulation Diagram

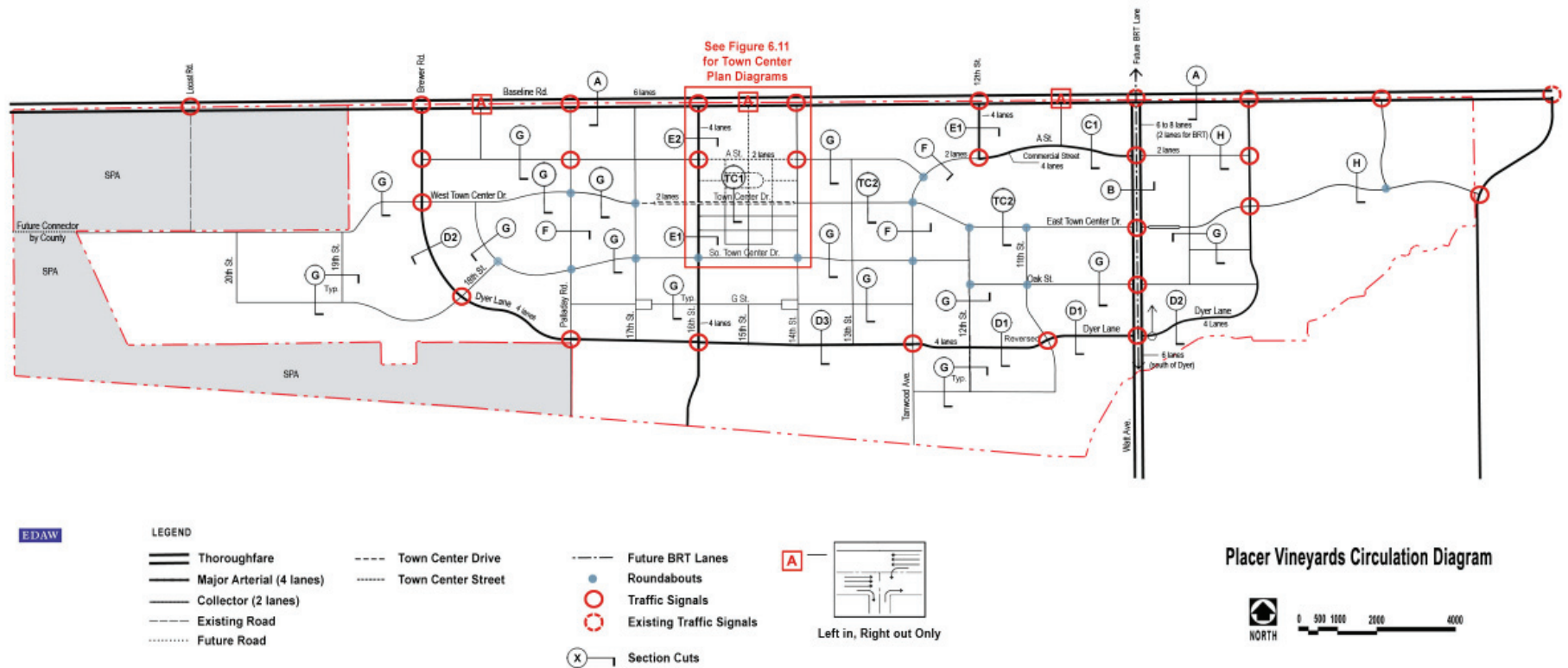
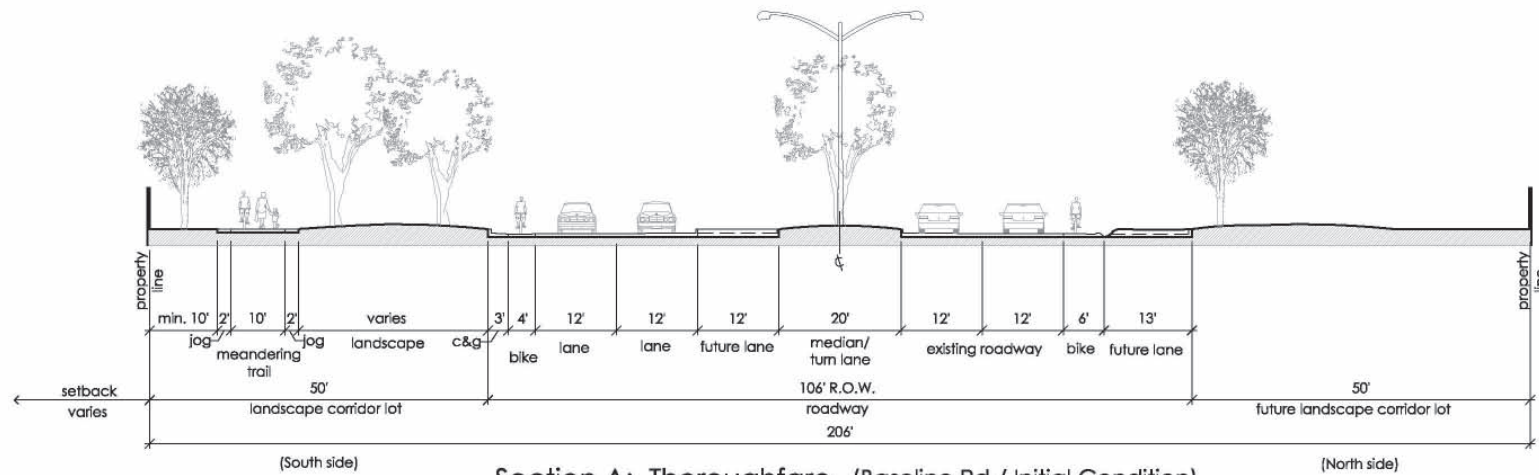


Figure 5.3 Roadway Sections – Thoroughfare (Baseline Road)

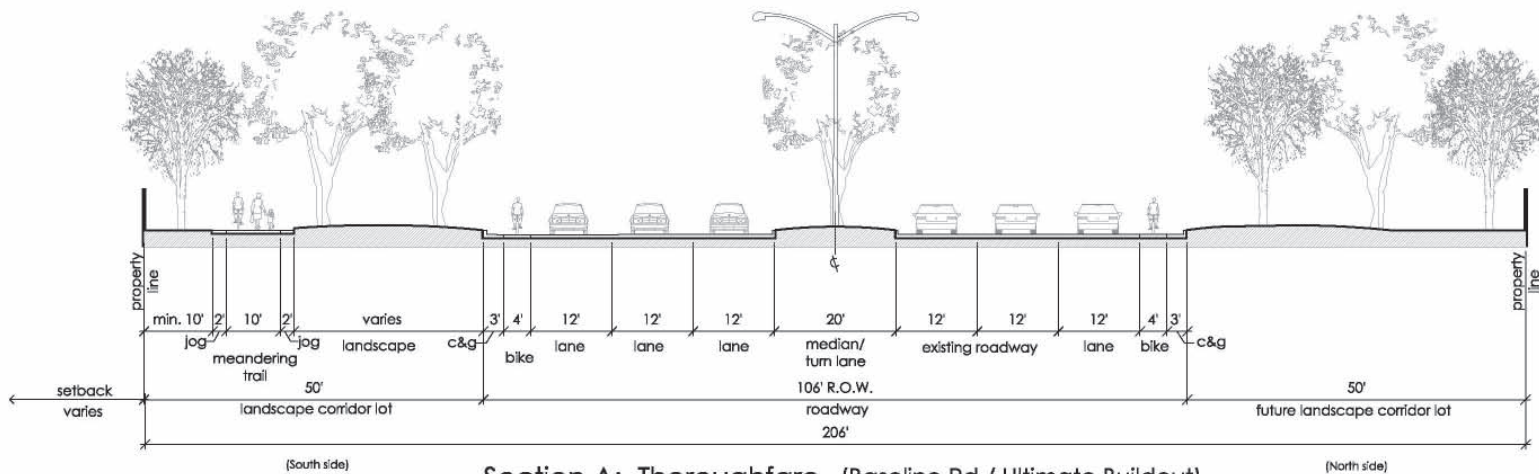


LEGEND

landscape	landscaping	bike	bike lane	c&g	curb and gutter
lane	driving lane	pk	parking	jog	jogging path
R.O.W.	right of way	min.	minimum		

Notes:

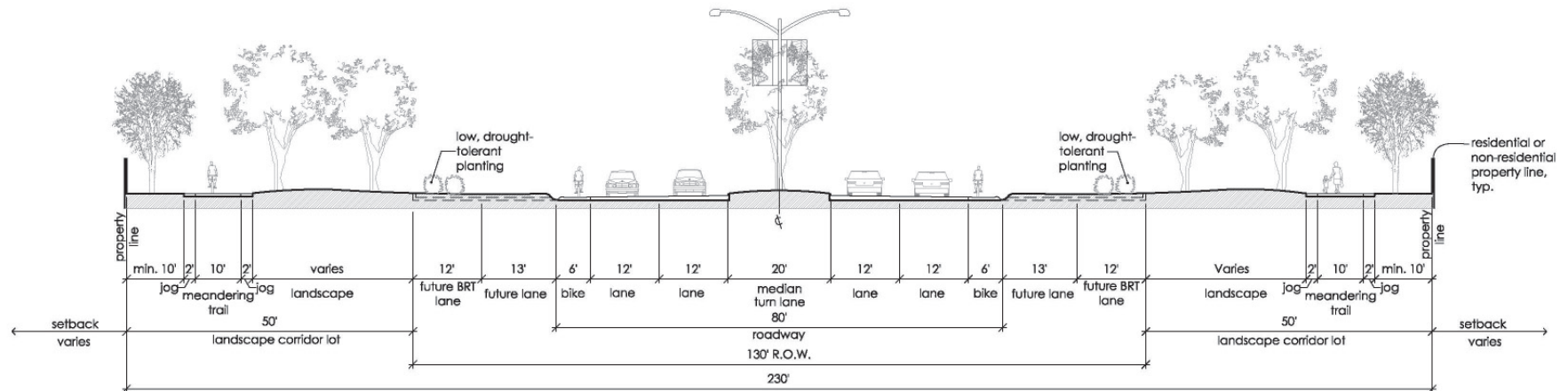
1. Backbone infrastructure system in initial phase of development



Notes:

1. Plan Area build out condition

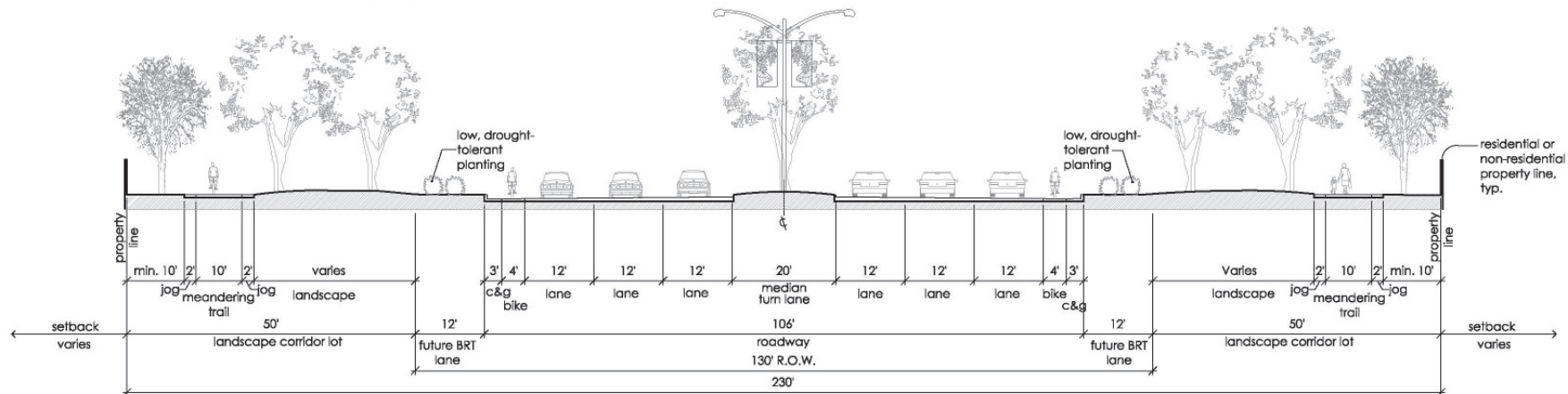
Figure 5.3 Roadway Sections – Thoroughfare (Watt Avenue Phase 1 and 2)

**LEGEND**

landscape	landscaping	bike	bike lane	c&g	curb and gutter
lane	driving lane	BRT	bus rapid transit	jog	jogging path
R.O.W.	right of way	min.	minimum		

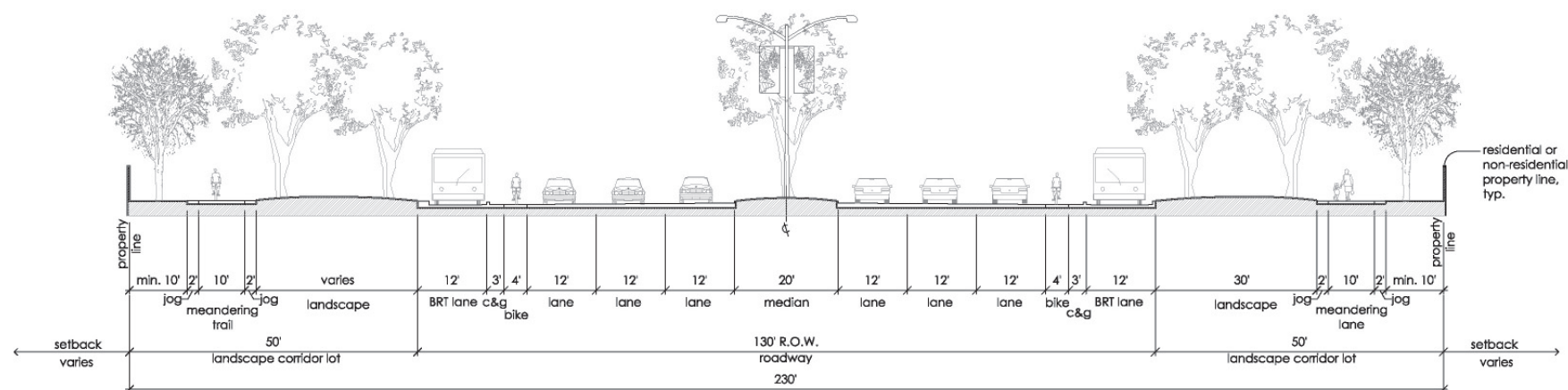
Notes:

1. Ultimate build out condition with BRT transit

**Notes:**

1. Plan Area build out condition with transit R.O.W. reserved
2. Location of transit to be determined in the future

Figure 5.3 Roadway Sections – Thoroughfare (Watt Avenue Phase 3)



Section B: Thoroughfare (Watt Ave.- Phase 3)

LEGEND

landscape	landscaping	bike	bike lane	c&g	curb and gutter
lane	driving lane	BRT	bus rapid transit	jog	jogging path
R.O.W.	right of way	min.	minimum		

Notes:

1. Plan Area build out condition with transit R.O.W. reserved
2. Location of transit to be determined in the future

Figure 5.3 Roadway Sections – Major Arterial Street (Dyer Lane)

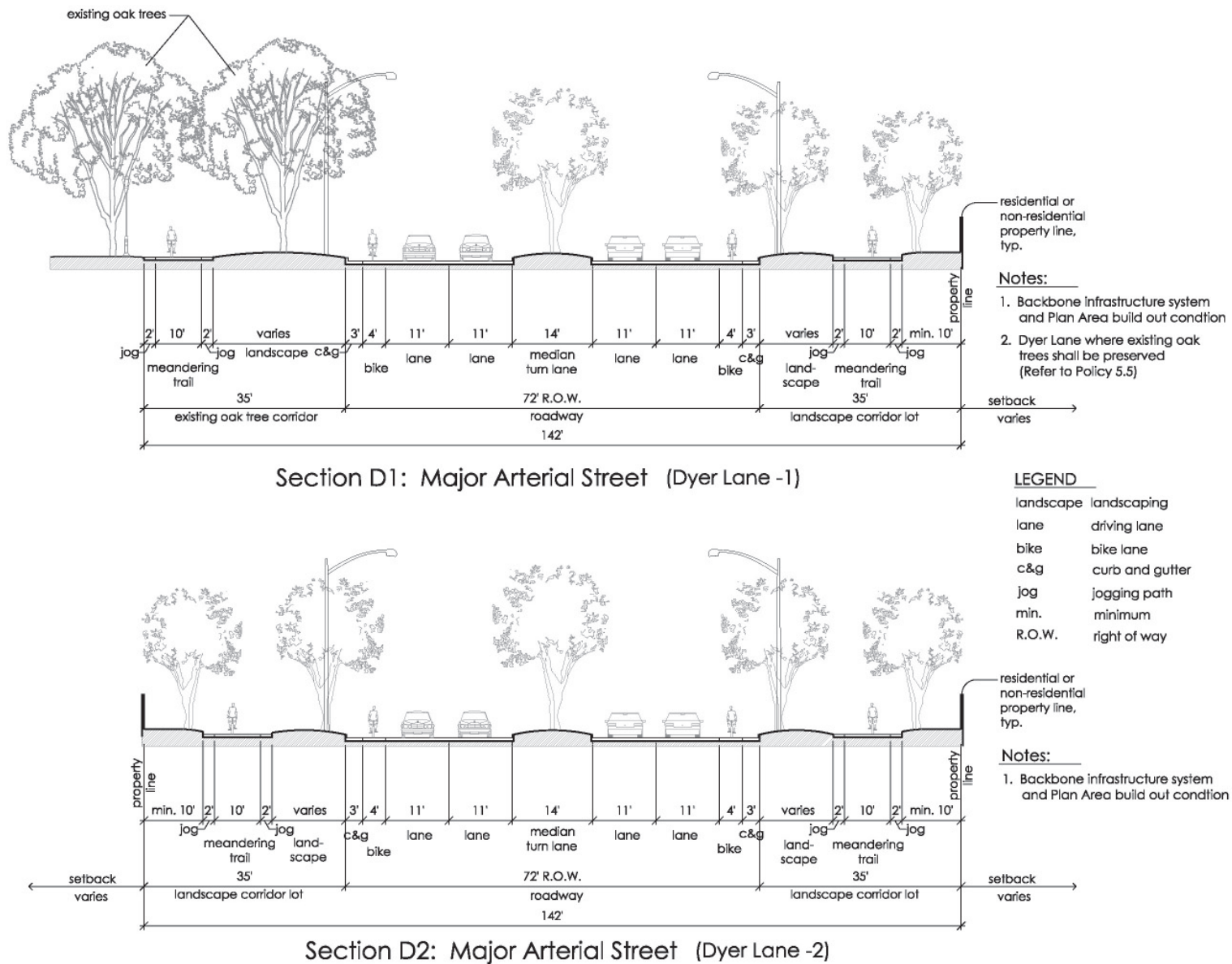
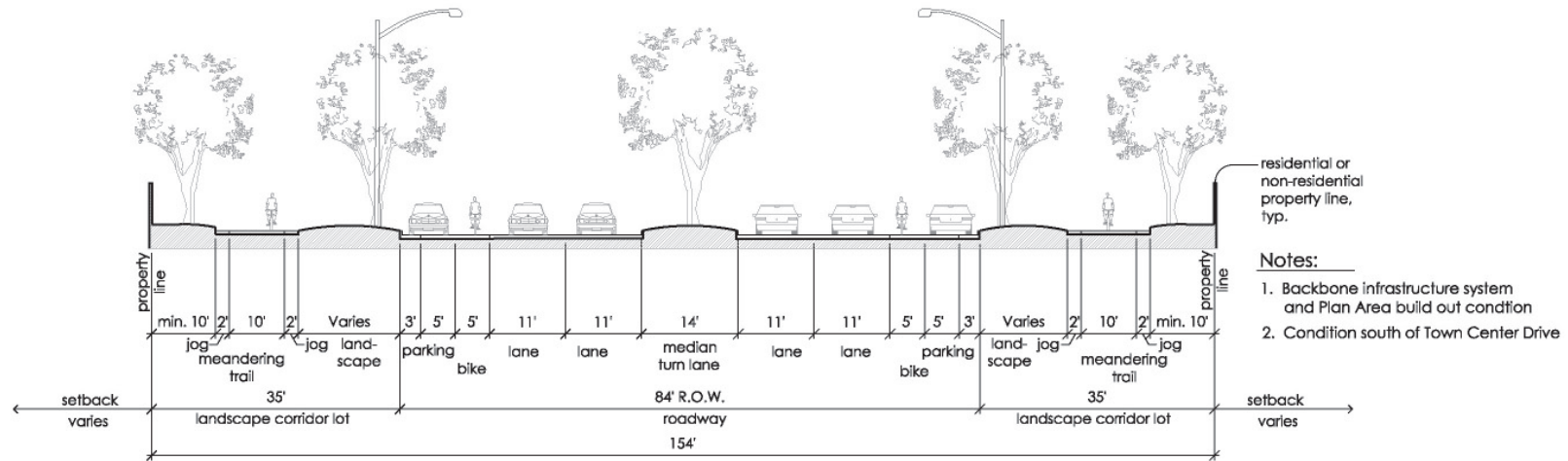


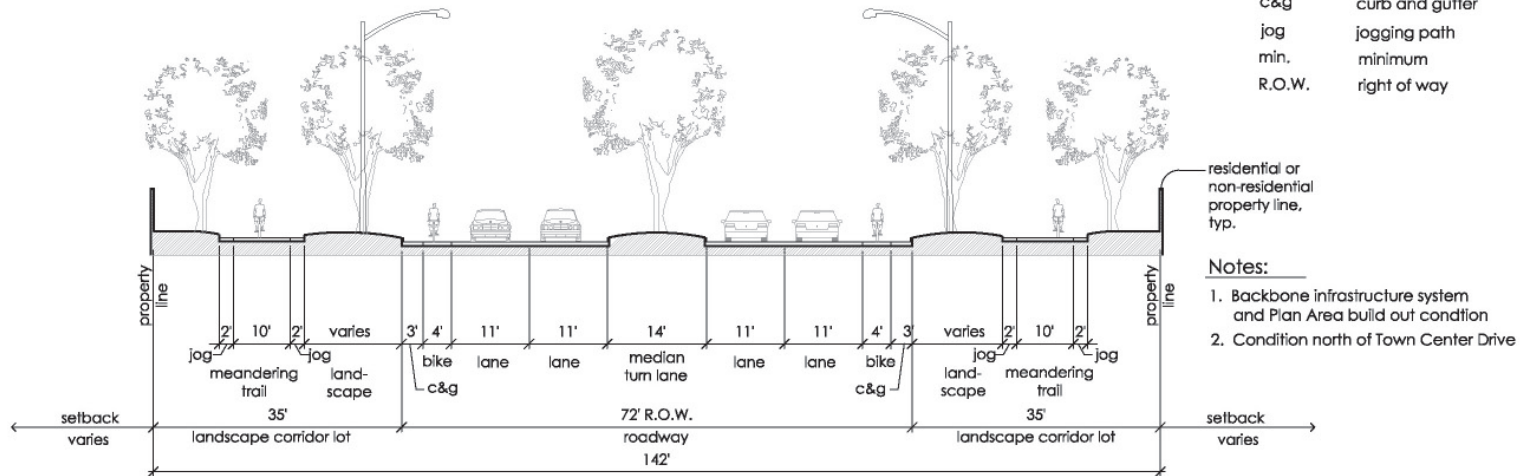
Figure 5.3 Roadway Sections – Major Arterial Street (16th Street)



Section E1: Major Arterial Streets (16th Street- South)

LEGEND

landscape	landscaping
lane	driving lane
bike	bike lane
c&g	curb and gutter
jog	jogging path
min.	minimum
R.O.W.	right of way



Section E2: Major Arterial Street (16th Street- North)

Figure 5.3 Roadway Sections – Major Collector Street

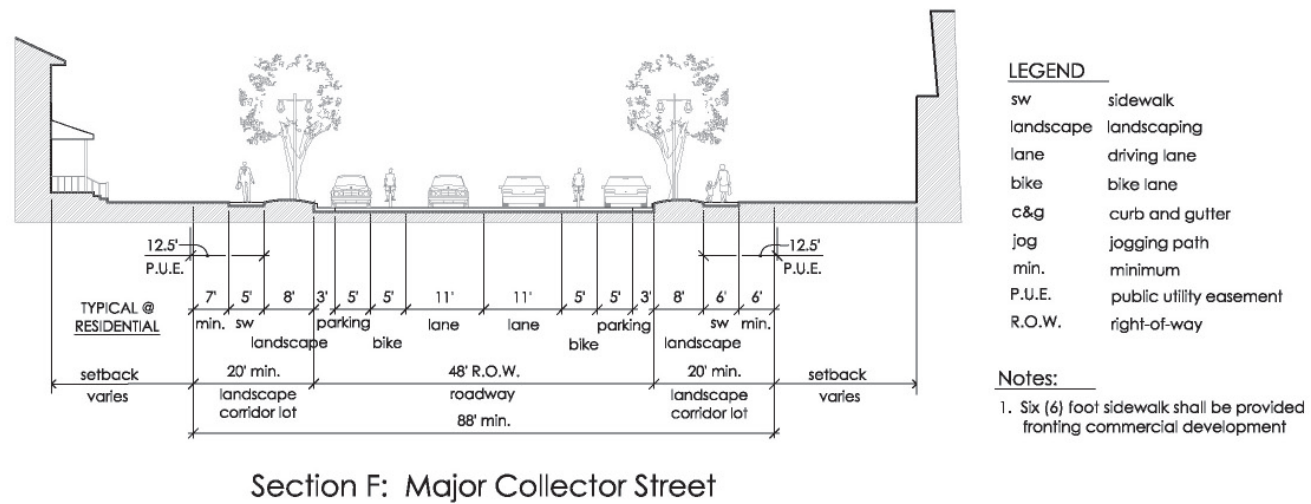


Figure 5.3 Roadway Sections – Collector Street

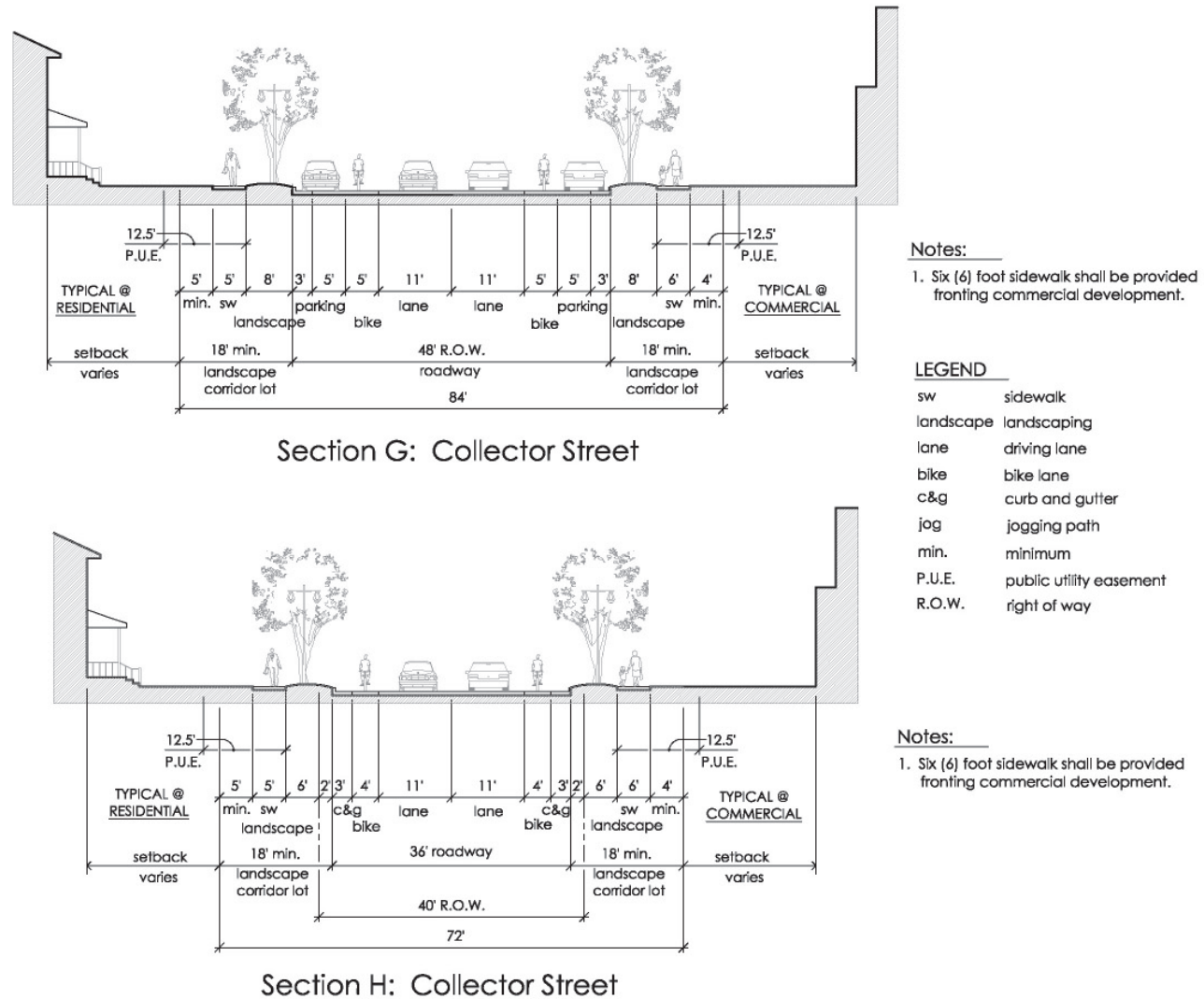


Figure 5.3 Roadway Sections – Commercial Street

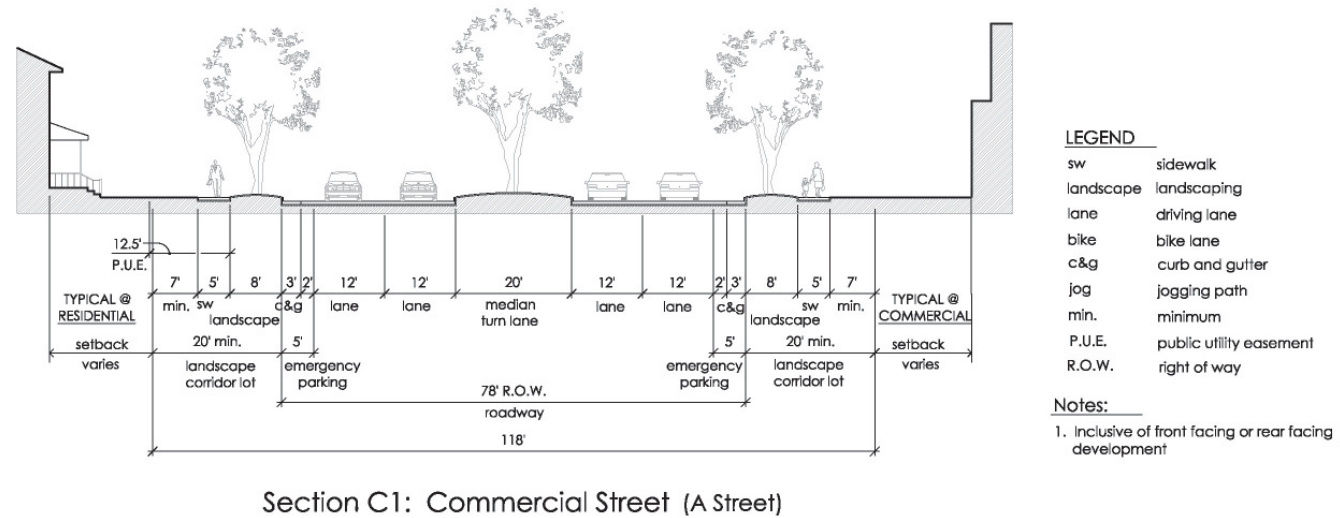
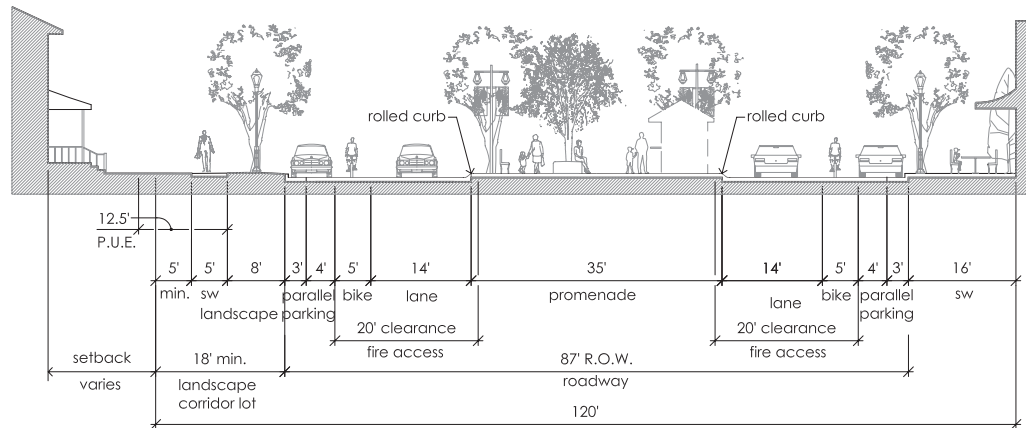


Figure 5.3 Roadway Sections – Town Center Drive



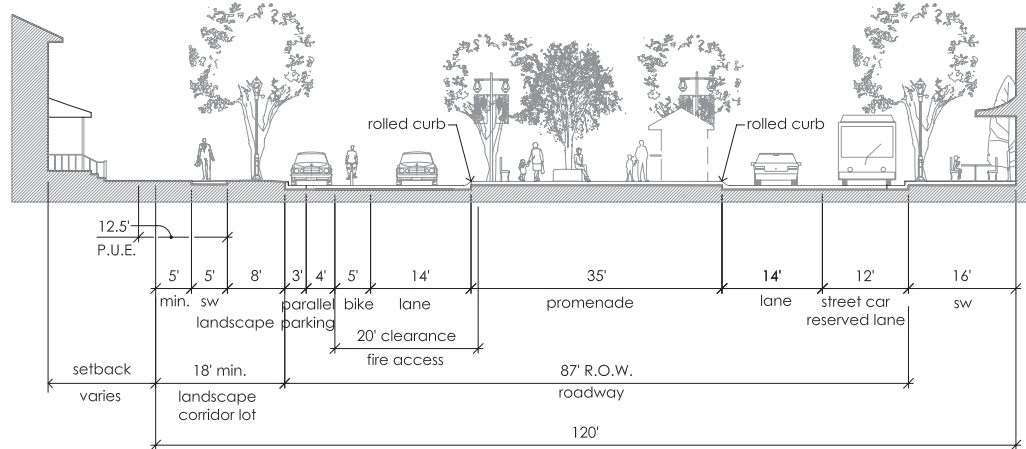
Section TC1: Town Center Drive (Initial Condition)

Notes:

1. Plan Area initial condition or condition without street car
2. Six (6) foot sidewalk shall be provided fronting commercial development

LEGEND

sw	sidewalk
landscape	landscaping
lane	driving lane
bike	bike lane
min.	minimum
P.U.E.	public utility easement
R.O.W.	right of way



Section TC1: Town Center Drive (Build Out)

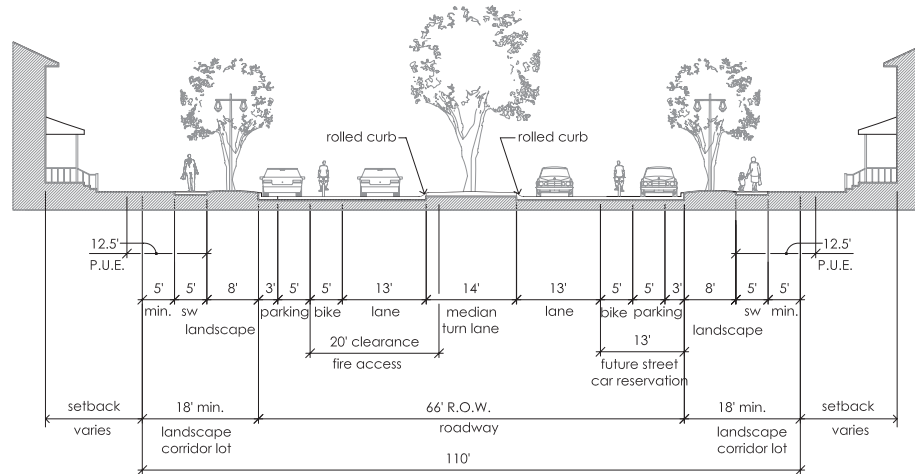
Notes:

1. Plan Area build out condition with streetcar
2. Six (6) foot sidewalk shall be provided fronting commercial development

LEGEND

sw	sidewalk
landscape	landscaping
lane	driving lane
bike	bike lane
P.U.E.	public utility easement

Figure 5.3 Roadway Sections – East Town Center Drive



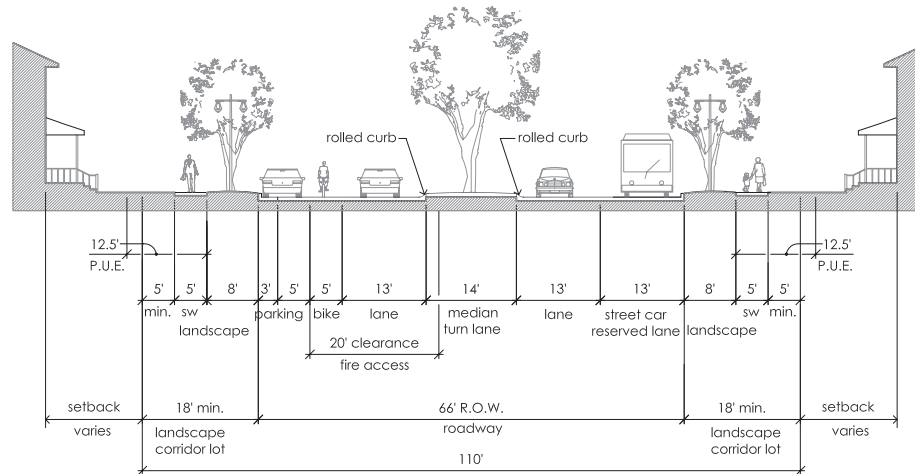
Section TC2: Town Center Drive (Initial Condition)

Notes:

1. Plan Area initial condition or condition without street car
2. Six (6) foot sidewalk shall be provided fronting commercial development

LEGEND

sw	sidewalk
landscape	landscaping
lane	driving lane
bike	bike lane
min.	minimum
P.U.E.	public utility easement
R.O.W.	right of way

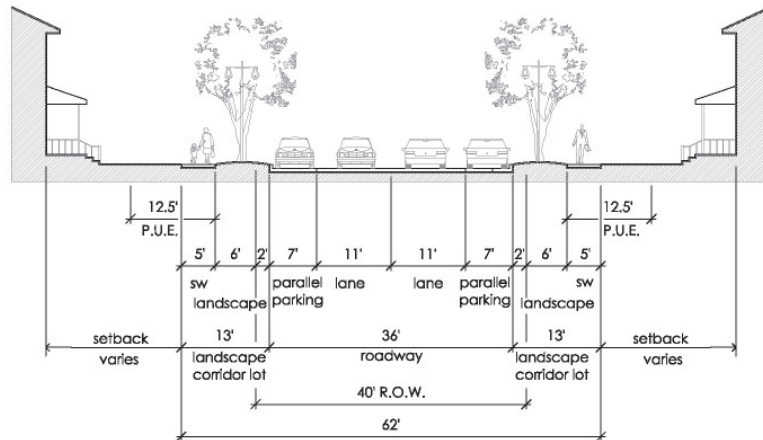


Section TC2: Town Center Drive (Build Out)

Notes:

1. Plan Area build out condition with streetcar
2. Six (6) foot sidewalk shall be provided fronting commercial development

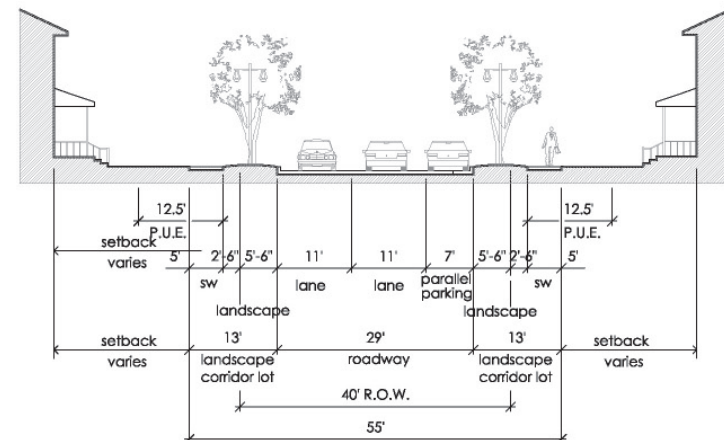
Figure 5.3 Roadway Sections – Residential Street



Section R1: Residential Street- Type A
Parking on Both Sides

LEGEND

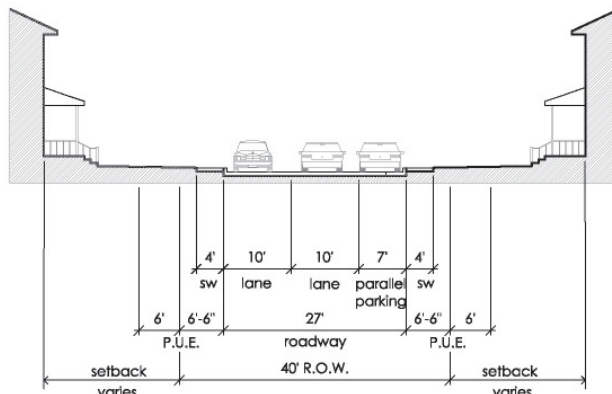
sw	sidewalk	bike	bike lane	c&g	curb and gutter
landscape	landscaping	pk	parking	jog	jogging path
lane	driving lane	tr	bike/ ped. trail	R.O.W.	right of way



Section R2: Residential Street- Type B
Parking on One Side

Notes:

1. 12.5' P.U.E., min., adjacent to all R.O.W., typical for all residential streets with exceptions provided upon approval by utility providers.
2. Parallel parking shall be provided only on one side of the street for single loaded street conditions, streets adjacent to open space and loop roads. (Refer to Section R2).



Section R3: Residential Cul-de-Sac Street
(Ten Units or Less)

5.4.2 TRANSPORTATION IMPROVEMENTS

Regional circulation improvements are identified by the Placer, Sacramento, and Sutter County General Plans and the 2004 Metropolitan Transportation Plan, prepared by SACOG. Planned improvements include expansions to regional roadways, local roadways, regional transit systems, and trail systems needed to accommodate growth anticipated to occur in this region. These facilities will provide capacity to the surrounding local and regional developments. A number of local and off-site intersection improvements will be constructed as part of the Placer Vineyards development to accommodate cumulative traffic levels.

Policy 5.6 Regional Transportation Improvements.

Relative to the traffic impacts generated by the project, Placer Vineyards landowners and the County shall define development agreements to ensure that the project pays for its fair share of transportation improvements.

Policy 5.7 Off-site Transportation Improvements.

Placer Vineyards shall provide traffic signals and off-site intersection improvements, in conjunction with development in the Plan Area at the following locations:

1. Riego Road and East Natomas Road
2. Riego Road and Pleasant Grove Road
3. Baseline Road and Pleasant Gove Road
4. Watt Avenue and Pfe Road

Policy 5.8 On-site Transportation Improvements.

The Placer Vineyards development shall fund and construct all transportation network improvements, including roadway design, traffic signalization, and traffic calming, necessary to support the new development when and as they are needed.

Policy 5.9 Concurrency.

Roadway improvements shall be constructed to coincide with the demands of new development as required to satisfy minimum level of service standards, as set by this Specific Plan.

Policy 5.10 Local Intersection Improvements.

Placer Vineyards shall provide local intersection improvements as guided by Figure 5.2.

1. *Signalized intersections for the thoroughfares, Baseline Road and Watt Avenue, are provided in Figure 5.2 at the following locations. On Baseline Road, signalized intersections are located on Locust Road, Dyer Lane (west), Palladay Road, 16th Street, 14th Street, 12th Street, Tanwood Avenue, Watt Avenue, Dyer Lane (east) and Park Street. On Watt Avenue, signalized intersections shall be provided at A Street, Town Center Drive (east), Oak Street and Dyer Lane. On Dyer Lane, signalized intersection are provided at A Street (east and west), Town Center Drive (east and west), 18th Street, Palladay Road, 16th Street, Tanwood Avenue and 11th Street. For commercial developments on A Street, signalized intersections shall be provided at Palladay Road, 16th Street, 14th Street and 12th Street.*
2. *Baseline Road and Watt Avenue intersections shall be planned and designed to accommodate the needs of thru-traffic. This will include traffic synchronization and intersection designs that favor through movements and minimize conflict points. This may also include additional turning lanes or other special features, such as pedestrian amenities that highlight intersection crossings.*
3. *Roundabouts shall be located along the major east-west collector streets and lower volume traffic streets, focused at the intersections of residential neighborhoods.*
4. *Roundabouts shall be considered as an alternative, where all-way stops or traffic signals are indicated in the future (i.e., project build-out).*
5. *The County shall also reserve the right to require additional traffic signals or roundabouts in the future, as determined to be necessary for traffic flow or safety.*
6. *The County shall also reserve the right to modify the minimum distance from a street intersection to a development driveway, as determined to be necessary for the traffic flow or safety of a specific site condition.*

Policy 5.11 Access within the Development Site.

Primary access to development will be avoided on high-volume arterial and thoroughfare roadways, and instead will be provided on collector or neighborhood streets and shall comply with the following standards.

- 1. Thoroughfares shall provide limited access. No driveways shall be permitted on Baseline Road or Watt Avenue. Access to properties fronting on Baseline Road shall be provided mainly from A Street and to a lesser extent from the roads that connect A Street to Baseline Road. Access to parcels from these connector roads shall be located at sufficient distance from Baseline Road so as not to impede the flow of traffic or create safety issues.*
- 2. Access to development sites from thoroughfares and arterials allowing for left turns into and out of the sites shall be limited to the identified signalized intersections in the Placer Vineyards Specific Plan, unless otherwise required under future development patterns.*
- 3. Minor right-turn-in and right-turn-out access points may be permitted by the County upon further detailed review and analysis of potential traffic and circulation impacts.*
- 4. See Figure 6.18 in Chapter 6, "Community Design," for conceptual site access designs for neighborhood commercial sites on high-volume roadways.*

Policy 5.12 Minimizing Barriers to Access.

The circulation and site plans for individual developments proposed within the Plan Area shall minimize barriers to access by pedestrians, the disabled, and bicyclists. Handicap ramps shall be incorporated into the design of all intersections and bicycle racks shall be located convenient to all retail, office, and civic sites.

Policy 5.13 Fire and Emergency Access.

All new development shall be coordinated with the local fire department to ensure that adequate emergency access is provided to all development areas and that emergency access routes are designed to the specification of the Placer County Fire Department.

Policy 5.14 Sound Walls.



Use of sound walls is discouraged. Where sound walls are required because of noise levels and traffic volumes on major streets, screen landscaping and mounding should be provided to minimize their visual impact and create a more attractive streetscape. Refer to Section 4.10 for additional policies related to noise levels and to Section 6.4.3 for walls, fences, and screening techniques and design guidelines.

5.4.3 TRAFFIC CALMING DESIGNS

Policy 5.15 Traffic Calming Roadway Design.




Use of traffic calming roadway design techniques in the design of residential streets and intersections is required. Techniques may include corner bulb-outs at intersections, traffic circles and rotaries, chokers, chicanes, etc. See the chart below and Figure 5.4 for recommended traffic calming designs. In all cases, traffic calming devices shall be designed not to restrict access by emergency vehicles or limit emergency response times below the required level of service standard.

A. Narrowing and Horizontal Devices




Traffic Calming Device	Description	Application
<p>Neckdown/ Bulb-out</p>  <p>Source: ITE pedestrian bicycle council</p>	<p>Neckdowns/ bulb-outs shorten the crossing distance of intersections and decrease the curb radii, reducing turning vehicle speeds.</p>	<p>Neckdowns/ bulb-outs can be used at intersections or midblock locations on most roadway types where the expected average daily traffic is less than 20,000 vehicles per day and a posted speed limit of 35 mph or less.</p>
<p>Two-lane choker</p>  <p>Source: ITE pedestrian bicycle council</p>	<p>Two-lane chokers are midblock curb extensions that narrow a street. Chokers leave the street cross section with two lanes that are narrower than the normal cross section.</p>	<p>Two-lane chokers should be used at midblock locations only on most roadway types where the expected average daily traffic is less than 20,000 vehicles per day and a posted speed limit of 35 mph or less.</p>

TRANSPORTATION AND CIRCULATION

A. Narrowing and Horizontal Devices


Traffic Calming Device	Description	Application
<p>One-lane choker</p>  <p>Source: www.pedbikeimages.org/ City of Portland Office of Transportation</p>	<p>One-lane chokers narrow the roadway width so that there is only enough width to allow travel in one direction at a time. They operate similarly to one-lane bridges, where cars approaching on one side must wait until all traffic in the other direction has cleared before proceeding.</p>	<p>The example provided is the entryway into a residential development. One-lane chokers should be used at midblock locations only on lower order residential streets where the expected average daily traffic is less than 3,000 vehicles per day and a posted speed limit of 30 mph or less.</p>
<p>Center Island Narrowing</p>  <p>Source: www.pedbikeimages.org/ City of Portland Office of Transportation</p>	<p>These raised islands located along the centerline of a street narrow the travel lanes at that location. They can also be used at intersections to provide refuge for pedestrians when fitted with a gap for pedestrians to walk through.</p>	<p>Center island narrowings can be used on most roadway types where the expected average daily traffic is less than 20,000 vehicles per day and a posted speed limit of 35 mph or less.</p>
<p>Chicane</p>  <p>Source: www.pedbikeimages.org/ City of Portland Office of Transportation</p>	<p>These curb extensions alternate from one side of the street to the other, forming S-shaped curves. Chicanes can also be created by alternating, on-street parking between one side of the road and the other</p>	<p>Chicanes should be used at midblock locations only. Application where the expected average daily traffic is less than 5,000 vehicles per day and the posted speed limit is 35 mph or less is appropriate.</p>

A. Narrowing and Horizontal Devices



Traffic Calming Device	Description	Application
<p>Lateral Shift</p>  <p>Source: www.pedbikeimages.org</p>	<p>These are curb extensions or other physical shifts of the roadway on otherwise straight streets that cause deflection.</p>	<p>Lateral shifts should be used at midblock locations only. Application where the expected average daily traffic is less than 5,000 vehicles per day and the posted speed limit is 35 mph or less is appropriate.</p>
<p>Traffic Circle</p>  <p>Source: www.pedbikeimages.org</p>	<p>Traffic circles are raised islands, placed in intersections, around which traffic circulates. Stop signs or yield signs can be used as traffic controls at the approaches of the traffic circle. Circles prevent drivers from speeding through intersections by impeding the straight-through movement and forcing drivers to slow down to yield.</p>	<p>Traffic circles should be used at low volume residential intersections. The combined intersection volume should not exceed 10,000 vehicles per day.</p>
<p>Roundabout</p>  <p>Source: www.pedbikeimages.org</p>	<p>Roundabouts are typically larger than neighborhood traffic circles and are used on higher volume streets to allocate right-of-way among competing movements. They have splitter islands to channel approaching traffic to the right, and do not have stop signs.</p>	<p>Single-lane roundabouts can be used at intersections where collector streets intersect. The combined intersection volume should not exceed 16,000 vehicles per day. A single lane roundabout may also be used in place of a traffic signal.</p> <p>Refer to Figure 5.4 for a typical roundabout design prototype for Placer Vineyards.</p>

TRANSPORTATION AND CIRCULATION

B. Vertical Devices

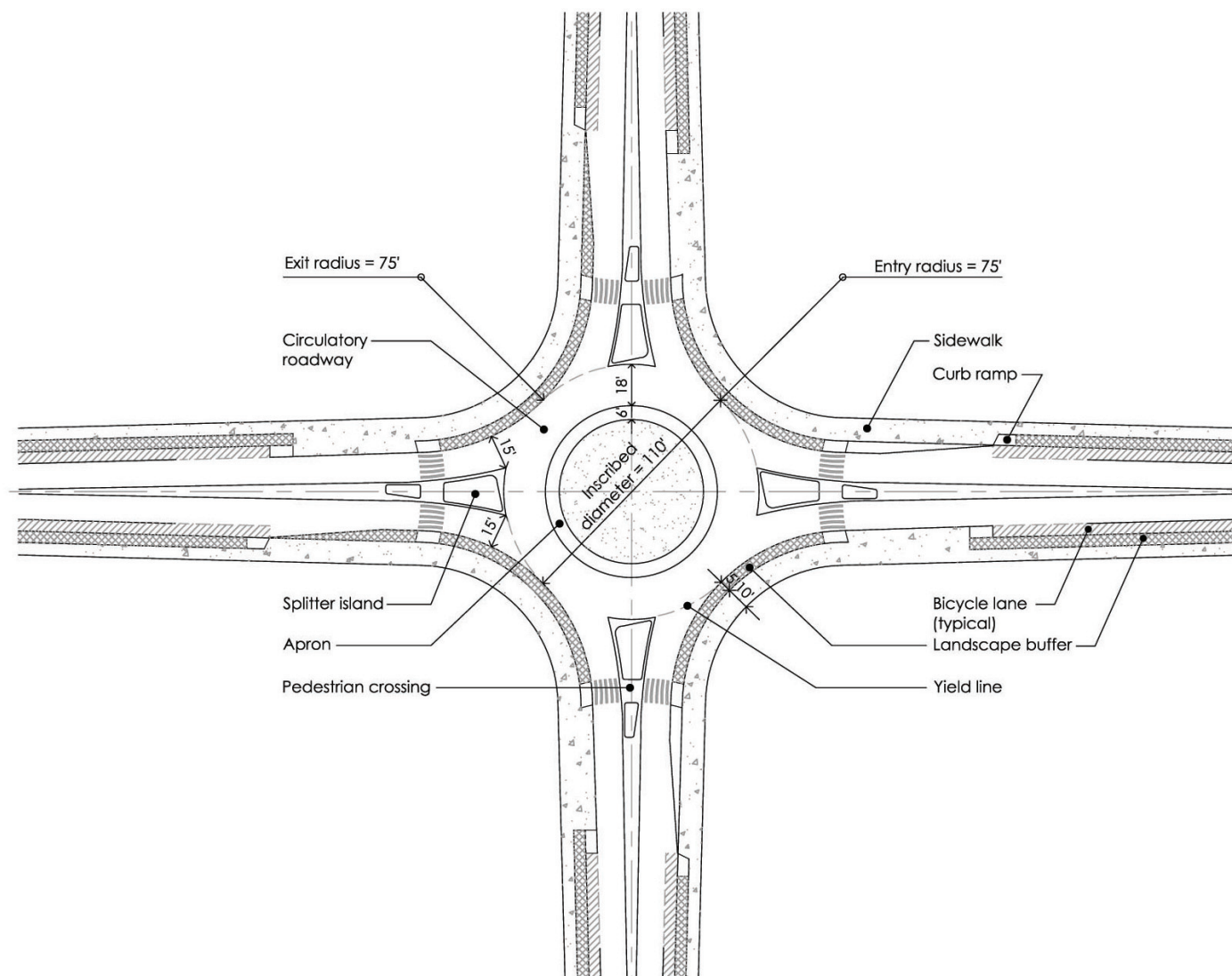
Traffic Calming Device	Description	Application
<div>Textured Pavement</div> <div></div> <div>Source: www.pedbikeimages.org/ Dan Burden</div>	<p>Textured colored pavement includes the use of stamped pavement (asphalt) or alternate paving materials to create an uneven surface for vehicles to traverse. It alerts drivers to a change in surroundings or emphasizes other traffic calming devices.</p>	<p>Textured pavement can be used at intersections, midblock locations, or driveways. This treatment can be applied to most roadway types, but should be limited in residential areas due to the noise created.</p>

C. Volume Control Devices

Traffic Calming Device	Description	Application
<p>Median Barrier</p> 	<p>These raised islands are located along the centerline of a street that continues through an intersection to block through movement at a cross street.</p>	<p>Median barriers are similar to center island narrowing but are used at intersection locations to prohibit certain turning movements. They can be used on most roadway types where the expected average daily traffic is less than 5,000 vehicles per day.</p>
<p>Forced Turn Island</p> 	<p>These raised islands prohibit certain movements on approaches to an intersection.</p>	<p>Forced turn islands channelize and or restrict certain movements at an intersection. This treatment can be applied to most roadway types where the expected average daily traffic is less than 5,000 vehicles per day.</p>

Source: Fehr and Peers 2005

Figure 5.4 Typical Roundabout Design



5.4.4 TRANSIT SYSTEM

The Plan Area will include systems and facilities to promote public transit use, including dedicated bus rapid transit lanes on Watt Avenue from Baseline Road to the southern limits of the Plan Area, a transit center with bus turnouts, and provisions for future local bus service on local roadways with bus turnouts and stops appropriately spaced.

An internal transit system shall be planned and implemented as the project is constructed. An Americans with Disabilities Act (ADA) dial-a-ride service will be provided. A fixed-route internal service will be provided that connects the Village Centers with the Town Center and other areas as deemed appropriate. Figure 5.5 shows the potential location of bus stops and potential circulation route for the public transit system serving Placer Vineyards. Commuter service will be provided to downtown Sacramento. The transit center, proposed in the East Village Center along Watt Avenue, will serve as a major transfer point between regional and local transit service.

Policy 5.16 Bus Rapid Transit System.

A public transit system and dedication of the right-of-way corridor for future bus rapid transit with feeder bus network shall be provided along Watt Avenue from Baseline Road to the Dyer Lane intersection just north of Dry Creek.

Policy 5.17 Streetcar Right-of-Way.

Dedication of rights-of-way for a future streetcar system shall be provided along the north side of Town Center Drive, extending from the transit center on Watt Avenue to the Town Center, ending at 16th Street.

Policy 5.18 Multi-modal Transit Center.

A transit center will be located on Town Center Drive to serve as a transfer point for regional and local transit services. The transit center site shall be of sufficient size to accommodate all future anticipated uses. It will include covered shelters, bus staging areas, park-and-ride lots, and bicycle storage facilities.

Policy 5.19 Transit Service and Facilities

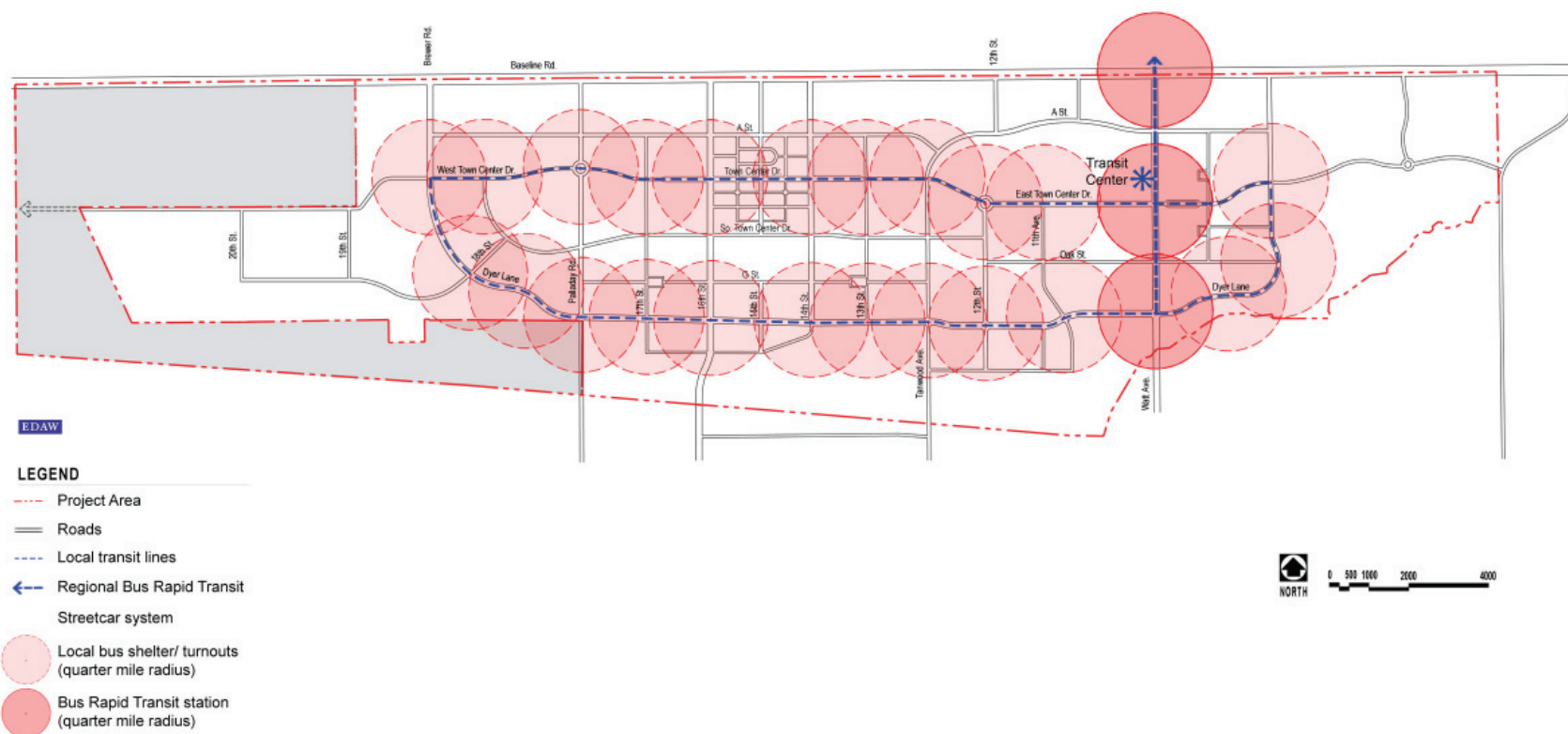
Placer Vineyards shall participate in regional service with connection to light rail transit on Watt Avenue in Sacramento County, Regional University, Galleria Mall, and other regional centers. As each parcel is developed, provisions for bus stops, turnouts, shelters, park-and-ride lots, bike lockers, lighting, and other transit support facilities will be examined and constructed.

Policy 5.20 Provision of Park-and-Ride Lots.

Park-and-ride lots shall be established and maintained at the Town Center and transit center at the East Village Center. The majority of the park-and-ride spaces shall be accommodated in the transit center where a majority of local and regional commute trips will be concentrated. A minimum of 50 spaces shall be provided in the Town Center, established as shared parking. Other smaller park-and-ride lots are encouraged to be established as a shared parking use incorporated into the overall parking design of other commercial and office centers or adjacent to public transit.

In total, a minimum of 193 parking spaces shall be distributed between the park-and-ride lots. More park-and-ride lots should be provided, especially adjacent to neighborhood activity centers, transit routes, and major transit corridors to encourage ridesharing, promote use of public transit, and reduce air pollution.

Figure 5.5 Public Transit Concept



5.4.5 BIKE AND PEDESTRIAN CIRCULATION

There are three basic types of bikeway trails as defined by the Placer County Bikeway/ Trails Master plan. They are:

Class I Bicycle Trails:

Off-street pathways completely separated from traveled roadways for the exclusive use of bicycles and pedestrians

Class II Bicycle Lanes:

Signed and delineated on-street lanes designed for one-way use of bicycles. Class II lanes are typically located along the shoulder or gutter in a widened portion of the street.

Class III Bicycle Routes:

Non-designated, on-street routes along local public streets where bicyclists do not have a delineated lane and must share the roadway with motorists.

Class I Bicycle Trails:

The proposed off-street trail system for Placer Vineyards provides more than 48 miles of Class I bike trails, located within open space and landscape corridors along thoroughfares and arterial streets. Class I bike trails will provide 10-foot-wide asphalt concrete paving with 2-foot-wide decomposed granite jogging paths on both sides of the asphalt concrete paving. The location of Class I bike trails are indicated in Figure 5.6, “Off-Street Trails Diagram,” and the Roadways sections in Figure 5.3.

Off-site trail dedications may be requested in association with tentative subdivision maps if it is determined by County staff that such linkages are crucial in the ability to complete major trail segments.

Class II Bicycle Lanes:

Class II bicycle lanes will be located within the rights-of-way of arterial, major collector, and collector streets. Bike lanes shall be designated with a white, painted stripe on the roadway and street signs shall indicate the location of bike lanes and major destination points.

Class III Bicycle Routes:

Class III bicycle routes will be located on existing traffic lanes with low traffic volumes. These streets will connect to Class II bike lanes and Class I bike trails.

Policy 5.21 Trail System.

Trails shall be provided as identified by Figure 5.6, “Off-Street Trails Diagram.”

Policy 5.22 Types of Trails.

Trails shall be provided within the Plan Area that offer a variety of experiences, including trails within and between parks and other public open space lands or to schools, and trails that connect to regional trails and transit facilities within and outside of the Plan Area.

Policy 5.23 Provision of Trails.

Private developers shall incorporate trail routes that are within their proposed tentative maps as identified in the trails diagram (see Figure 5.6). Placer Vineyards trails shall conform to the following standards.

- 1. In the Dry Creek corridor only, Class I bicycle trails shall be 12-foot-wide, asphalt concrete paving with 2-foot-wide decomposed granite trails on both sides of the asphalt concrete paving.*
- 2. In all other areas, Class 1 bicycle trails (10-foot wide, asphalt concrete paving) will be provided with 2-foot-wide decomposed granite jogging paths provided on both sides of the asphalt concrete paving.*
- 3. In open space areas, natural surface multi-use trails may be set a minimum of 10 feet off the asphalt concrete paving trail (for activities such as equestrian riding and mountain biking).*
- 4. Informational signs will be placed throughout the trail system (e.g., “2.4 miles to Town Center”).*
- 5. Trails will be set back a minimum of 10 feet from residences.*
- 6. Trails will be set back a minimum of 25 feet from preserved or reconstructed wetlands.*
- 7. Collapsible bollards will be placed at entries to restrict vehicular access where trails and streets intersect.*
- 8. Trail crossings of drainage ways will occur at appropriate intervals.*
- 9. Traffic calming methods and signage shall be used to enhance the safety of the trail systems where they cross major or collector streets.*
- 10. A Class I trail crossing shall be provided under the Watt Avenue bridge within the Dry Creek corridor.*

11. *A Class I trail shall also be provided on the east side of the Dry Creek bridge and along Watt Avenue, extending to the Placer/ Sacramento County line. The Class I trail on the east side of the bridge will be separated from traffic by a concrete railing.*

Policy 5.24 Construction of Bike Trail Improvements.

Bike trail improvements are planned to connect Morgan Creek to Gibson Ranch Park. Landowners shall design and construct bike trail improvements within the open space portions of their property, according to the following standards and provisions of the Development Agreement.

1. *In conjunction with the construction of a core backbone roadway system, a set of core backbone trails adjacent to these roadways, as described in Section 9.3 and the Public Facilities Financing Plan, shall be constructed at the same time that the core backbone roadways are constructed.*
2. *Landowners shall install sections of the trail when it installs subdivision improvements within the parcels adjacent to the open space. Trail connections to the core backbone trails shall be included as part of the subdivision improvements.*
3. *Bike trail sections shall be constructed and improved according to Figure 5.6, "Off-Street Trails Diagram." Bike trails shall be designed in accordance with the County's design standards for off-street bike trails and the guidelines provided in the Specific Plan.*
4. *Landowners shall proceed to complete the construction of bike trail improvements at the same time that they install and complete the balance of the subdivision improvements for the parcel(s) adjacent to the open space.*
5. *Landowners shall be responsible for all costs associated with the design and construction of bike trail improvements, including the costs of preparing required plans and drawings and obtaining all required permits.*
6. *Upon completion of bike trail improvements by the landowner, the County shall accept the dedication of the bike trail and applicable open space area and assume ownership and maintenance of these facilities, provided that the cost of maintenance shall be funded by the County Service Area.*

Policy 5.25 Fire Trails/Access through Open Space.

Fire access routes shall be integrated into the open space trails system and shall comply with Placer County Fire Department standards.

1. *Open space trails shall include design features that minimize barriers to emergency response, such as knock-down bollards for emergency access at trailheads.*
2. *Rolled curb access points shall be provided in open space areas. Open space access points shall be provided at each cul-de-sac that abuts an open space and spaced every 1,000 feet along roads adjacent to open space areas. These access points to be identified with signage and red curbed. Emergency access easements shall be provided for each emergency access area.*

Policy 5.26 Roadway Crossings in Utility Corridors.

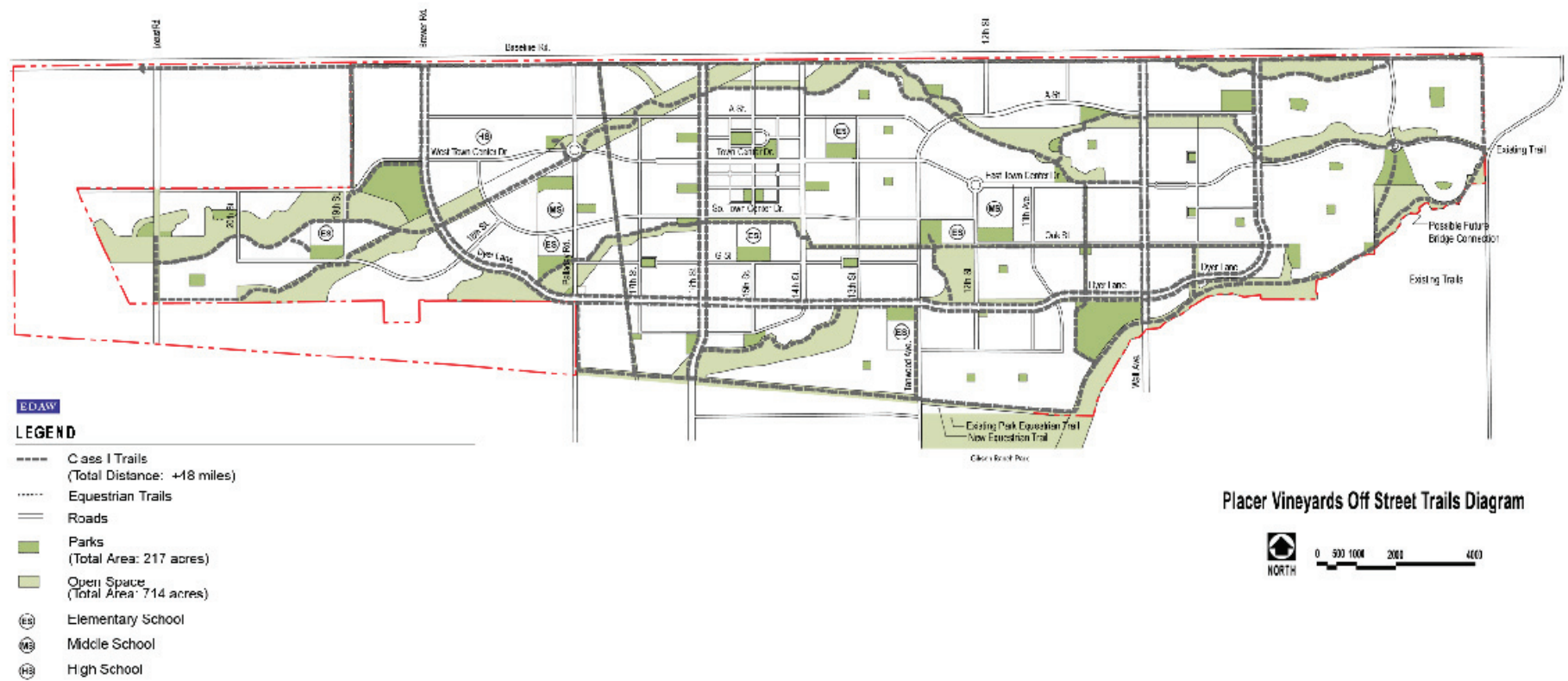
Roadway crossings shall be minimized through utility corridors to reduce the fragmentation of trails and open space.

5.4.6 EQUESTRIAN CIRCULATION

Policy 5.27 Provision for Equestrian Trails.

An east-west equestrian trail connection is proposed within the open space buffer areas adjacent to the Placer/ Sacramento County line. It will connect the Plan Area to the facilities in Gibson Ranch Park and link into the equestrian trail system proposed along the south side of Dry Creek, as directed by the Dry Creek/ West Placer Community Plan.

Figure 5.6 Off-Street Trails Diagram



CHAPTER VI: COMMUNITY DESIGN



6.1 COMMUNITY DESIGN CONCEPT

Context

This chapter is intended to define the type of community envisioned for Placer Vineyards. This chapter sets the goals, policies and design guidelines that ensure the creation of a safe, high-quality and livable environment for the existing and new residents of Placer Vineyards. The design standards and guidelines provided in this chapter along with those standards and guidelines in other chapters of the Specific Plan are intended to ensure a cohesive and unique character for Placer Vineyards while allowing flexibility for individual property owners to develop their own unique brand of product types and distinct neighborhoods.

The contents of this chapter shall be used in concert with the standards and guidelines found elsewhere in the Specific Plan. Refer to the following chapters of the Specific Plan for information regarding the design of the Placer Vineyards community:

- ♦ Chapter III, “Land Use,” introduces the land use plan and describes the land uses in the community.
- ♦ Chapter V, “Transportation and Circulation,” provides the design standards and guidelines related to the design of the streets and trails within the Placer Vineyards site.
- ♦ Chapter VII, “Parks and Open Space,” describes the parks and open space network for Placer Vineyards.
- ♦ Chapter VIII, “Public Utilities and Services,” provides information on the design of the infrastructure system serving the Plan Area as well as the schools, sheriff, fire protection, government services and other community serving facilities.
- ♦ Chapter IX, “Implementation,” discusses the administration and implementation steps required to achieve the goals and regulations set forth in this Specific Plan.
- ♦ Appendix A, “Land Use and Development Standards,” further defines the intensity and density of development and permitted uses allowed in each of the land use districts.
- ♦ Appendix B, “Recommended Plant List,” provides a list of the recommended trees, shrubs, vines, and groundcovers for Placer Vineyards.

Purpose

In general, the standards and guidelines of the Specific Plan are intended to be consistent with adopted County goals and policies. This chapter of the Placer Vineyards Specific Plan is intended to amend the Placer County Design Guidelines and Placer County Landscape Design Guidelines. It will address the overall vision for Placer Vineyards, and will act as an implementation tool that directs development specific to the Placer Vineyards site.



Application of these standards and guidelines ensures that development that may occur over an extended period of time is high quality. The Placer Vineyards development will result in distinct neighborhoods and development areas with unique site and landscape characteristics. Different areas of the site will be united by a common network of streets, trails, and greenways; connected by common access to an extensive system of parks, open space, schools, employment, public facilities and urban centers; and united by a townscape vocabulary achieved through the consistent treatment of common site and building design elements.

The design guidelines in this chapter address the common design elements as well as the unique centers and residential communities of the Placer Vineyards Area. The remainder of this chapter is organized into the following sections.

6.2 Community-wide Design Elements

- 6.2.1 Landscape Design
- 6.2.2 Streetscapes
- 6.2.3 Community Gateways
- 6.2.4 Signage Systems
- 6.2.5 Lighting

6.3 Centers of Activity

- 6.3.1 Design of Activity Centers
- 6.3.2 Town Center

COMMUNITY DESIGN

- 6.3.3 Village Centers
- 6.3.4 Commercial Centers
- 6.3.5 Baseline Road Regional Commercial Corridor
- 6.3.6 Neighborhood Commercial Centers

6.4 Residential Neighborhoods

- 6.4.1 General Lot Design Standards
- 6.4.2 Residential Design
- 6.4.3 Walls, Fences and Screening

The Design Standards in this chapter will be used to assist Planning staff, the Planning Commission, and Board of Supervisors in evaluating the merit of development proposals. Based on the experience gained during the initial development period, specific guidelines or standards in this chapter may be revised to clarify direction, to better meet specific site conditions or to simplify the review and implementation process by the County.

Should individual projects differ in some respects but are substantially consistent with the intent of these standards, minor deviations may be allowed in certain circumstances. These determinations will be made at the discretion of the Planning Director and the Planning Commission. For design items that are specified in exhibits, text, and/ or adopted goals and policies of the Placer Vineyards Specific Plan, modifications may require an amendment of the Specific Plan.

The Planning Commission may accept different but substantially consistent design if it is of equal quality to and satisfies the intent of the original design guidelines. Minor changes to an approved project that are consistent with original approvals, may be approved by the Planning Director. Refer to Chapter IX, "Implementation," for the Administration procedures to follow.

6.2 COMMUNITY-WIDE DESIGN ELEMENTS

This section outlines the goals and policies applicable to plan elements that are to be consistent across the entire Plan Area. For certain elements (i.e. parks, open space, streets) the text may also refer to design standards contained in other associated chapters of this Specific Plan.

6.2.1 LANDSCAPE DESIGN

The designed landscape creates the framework for common elements that knit the community together. These elements bring cohesiveness to the community, engage the natural vegetation and topography of the site into the design of the community, provide community identity, enhance the livability and aesthetics of the community and blend together various site and land use adjacencies.

- Goal 6.1** Provide a consistent and visually cohesive landscape throughout the Plan Area
- Goal 6.2** Define and maintain a landscape and architectural style for the Specific Plan Area.
- Goal 6.3** Provide for views from the road to community features such as creeks, wetlands, major tree groves, and other open space on the site.
- Goal 6.4** Put in place a designed landscape that utilizes a plant palette that is visually attractive, varied and either uses recycled or reclaimed water or minimizes water use.

Policy 6.1 Landscape Design and Landscape Master Plan

In order to ensure the implementation of a cohesive image for the community, a detailed Landscape Master Plan shall be developed and approved by the County, before the approval of tentative maps. This Master Plan shall address the design of streetscapes, entries and other image features. The Landscape Master Plan and the Park and Recreation Master Plan (see Chapter 7, "Parks and Open Space") shall complement each other and together shall define the public landscape areas of the community. The Landscape Master Plan shall be guided by the following features:

- 1. The landscape design treatment for Placer Vineyards shall consider the context, historical land use and ecology of the region. Design elements consistent with the historic rural image of the area including use of stone, wood, timber arbors and trellises, and rural fencing types are encouraged.*
- 2. Use landscape materials, trees, shrubs, and ground cover that are native to the area, have low water use and fit into the local environmental conditions. Refer to Appendix B for a Recommended Plant List.*
- 3. Use colorful ornamental landscaping as accents at entryways, as special park and open space areas, and as image elements in the overall landscape.*

4. *The streetscape designs described in the following sections of this chapter and the conceptual design figures that accompany them will be further refined or may be modified during the preparation of the Landscape Master Plan.*

Policy 6.2 View Protection.

1. *Landscape elements shall be designed to create vistas and frame views of important community features, such as natural site features, significant buildings, or landmarks.*
2. *Single-loaded streets shall be incorporated into project design when adjacent to parks, drainages, and other open spaces.*
3. *Whenever possible, landscape berming and/ or setbacks shall be incorporated into subdivision designs to mitigate for noise.*

Policy 6.3 Natural Resource Preservation.

Where possible, open space areas shall interconnect with the oak woodlands, grasslands, wetlands and other natural resources in the Plan Area.

Policy 6.4 Recommended Plant Palette.

Appendix B of this Specific Plan contains a list of plants recommended for use in Placer Vineyards. This list should be used when designing open space, landscape buffer corridors, streetscapes, gateways and parks. Plants similar to those listed in the table may also be used.

6.2.2 STREETSCAPES

The streetscape is one of the major visual elements that can help tie the community together in a consistent theme and quality of experience. Streetscape design is concerned with the design of the “public realm” or the area that stretches from the public streets to the building face. Streetscape design includes the selection of landscaping along the street and front yards and includes pedestrian amenities along the public right-of-way such as seating, lighting, and pedestrian furniture. Streetscape design guidelines apply to street corridors and along landscape buffers, medians and gateways.

Trees are a major component of the streetscape design and livability of the Placer Vineyards community. Trees provide an attractive setting for walking and bicycle use; shade the sidewalks, street surface, and adjoining buildings; and improve the air quality and overall environment of the neighborhood. The streetscape design within Placer Vineyards is intended to provide a unified design and character for the project.

The guidelines presented in this section complement the roadway design standards found in Chapter V. Typical street section designs are also found in this chapter.

Goal 6.5 Create an attractive and inviting setting for the “public realm” that supports an active and vital mixed-use community. Features will include trees, shrubs, and ground cover plantings, as well as trails, paths, monument signs, and other architectural amenities.

Goal 6.6 Design streetscapes along thoroughfares and arterials with a more spacious character to the public realm, consistent with the size and width of the street corridor, the volume and speed of traffic and the amount and type of pedestrian activity on the street.

Goal 6.7 Create a continuous canopy of tree coverage throughout the Placer Vineyards community that establishes a strong and attractive community identity and provides shade.

Policy 6.5 Landscape Corridors on Major Streets.

Street landscape corridors will be developed along thoroughfares and arterials (i.e., Watt Avenue, Dyer Lane and 16th Street; see Figures 6.1 through 6.3) and major collector streets.

1. *These parkways are wide and heavily landscaped with double rows of street trees, ground cover, and flowering accent vegetation.*
2. *Walkways shall be designed as joint-use pedestrian and bicycle paths, meandering through the parkway.*
3. *The streetscapes shall also provide linkages to neighboring open spaces, parks, schools, and major activity nodes, allowing for pedestrian and bicycle circulation as well as for other passive recreational and educational opportunities.*
4. *The corridors will have meandering trails separated from the streets. Landscaping will be expanded at entries to the development, and blended in with the adjoining park sites and open space areas.*

Policy 6.6 Street Landscape Corridor Design.

Street landscape corridors should be designed with different plant palettes to give a unique character to the streets. Refer to Appendix B for a list of recommended streetscape trees, shrubs, vines, and groundcovers; and Figures 6.1 through 6.3 for sample street corridor designs for Baseline Road, Watt Avenue and Dyer Lane.

1. *Thoroughfares- Baseline Road, Watt Avenue and Arterial Streets- Dyer Lane and 16th Street. Thoroughfares (see Figures 5.3-A, B) will have a 50-foot landscaped setback buffer and 20-foot median through the entire project area. Arterial streets (see Figure 5.3-D and E) will include a 35-foot landscape setback on both sides of the street and a 14-foot planted median. Landscape buffers will include earthen berms and plants, deciduous trees, evergreen trees, and drought tolerant shrubs and groundcovers. Berms and plants, such as 3- to 4-foot tall hedges, should be used to screen parking areas or sound walls.*

For thoroughfares and arterial streets, a row of trees with drought tolerant shrubs and ground covers will be planted in the road medians. Low-drought tolerant plants should be installed as temporary landscaping in the future BRT right-of-way on Watt Avenue. Deciduous and evergreen canopy trees will be planted between curbs and sidewalks, with evergreen screen trees placed between sidewalks and residential walls. Landscaping should provide for a consistent use of plant materials for the thoroughfares and each arterial street.

Unless, recycled water is used for irrigation, irrigated turf will be limited to 25% of the total landscape corridor area. Turf areas will be limited to accent areas near intersections, project signage, buildings, and areas between the back of curb and sidewalks.

2. *Major Collector Streets- Palladay Road, Tamwood Road, 14th Street. Select collector streets, as shown in Figure 5.3, Section F, will be landscaped with a 20-foot landscape setback area. A single, large deciduous canopy tree or other thematic landscape combination should be established. The same tree will be planted within landscaped areas on both sides of the street at regular intervals for the entire road segment. In addition, other planting will consist of drought tolerant ground covers, vines, and shrubs to screen walls or fences that abut the collector street landscape areas.*

3. *Minor Collector Streets and Local Streets. Local streets will be landscaped with a single, large deciduous canopy tree planted at regular intervals (at approximately 25 to 30-foot intervals or at a distance that provides appropriate spacing for the type of tree selected) on both sides of the street for the entire length of the road. In addition, other plantings will consist of groundcovers, vines, and shrubs to screen walls that “side-on” to local streets. (see Figure 5.3, Sections G, H, and R1 through R4 for typical street cross sections.)*

Figure 6.1 Baseline Road Landscape Corridor

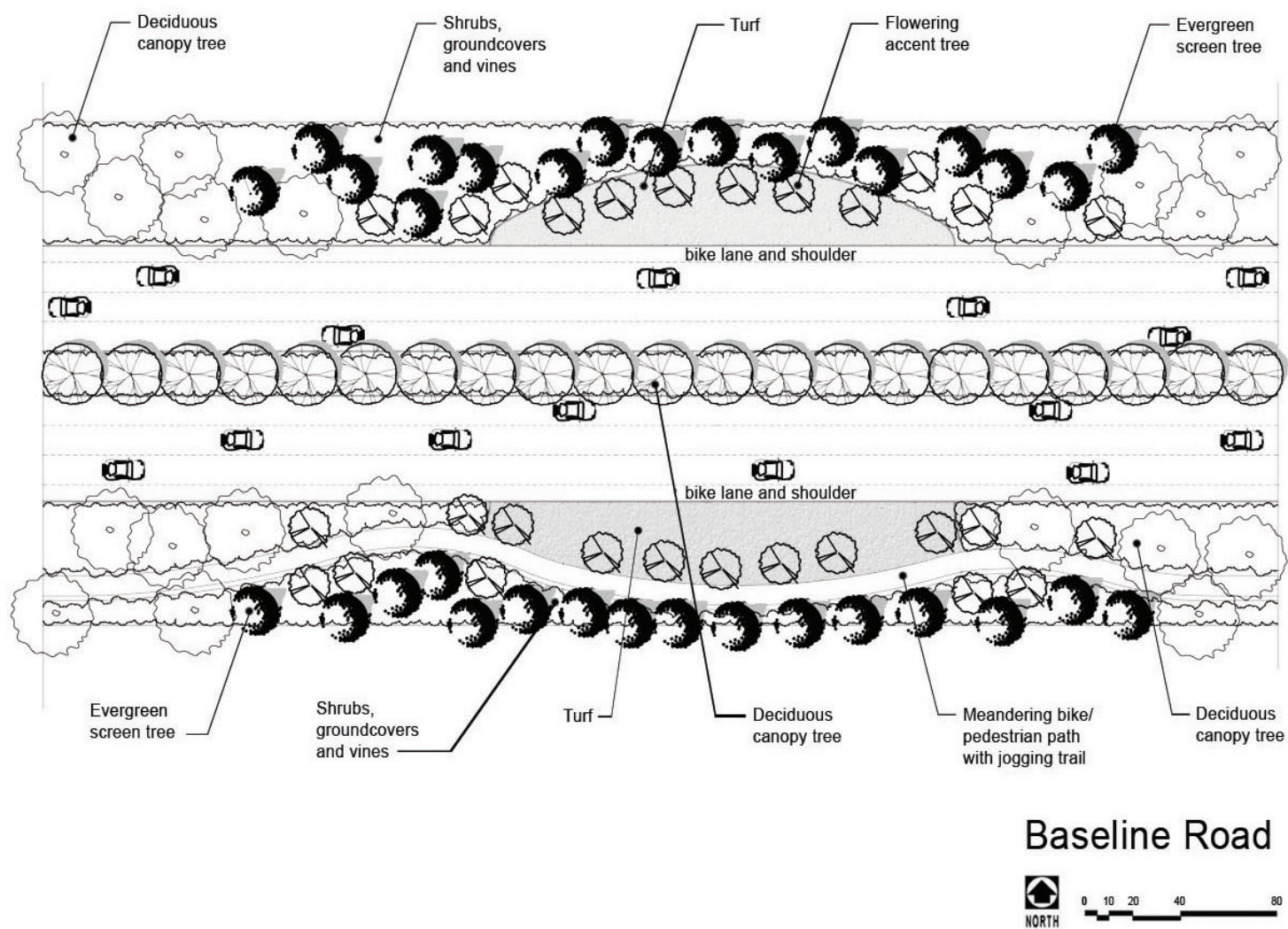


Figure 6.2 Watt Avenue Landscape Corridor

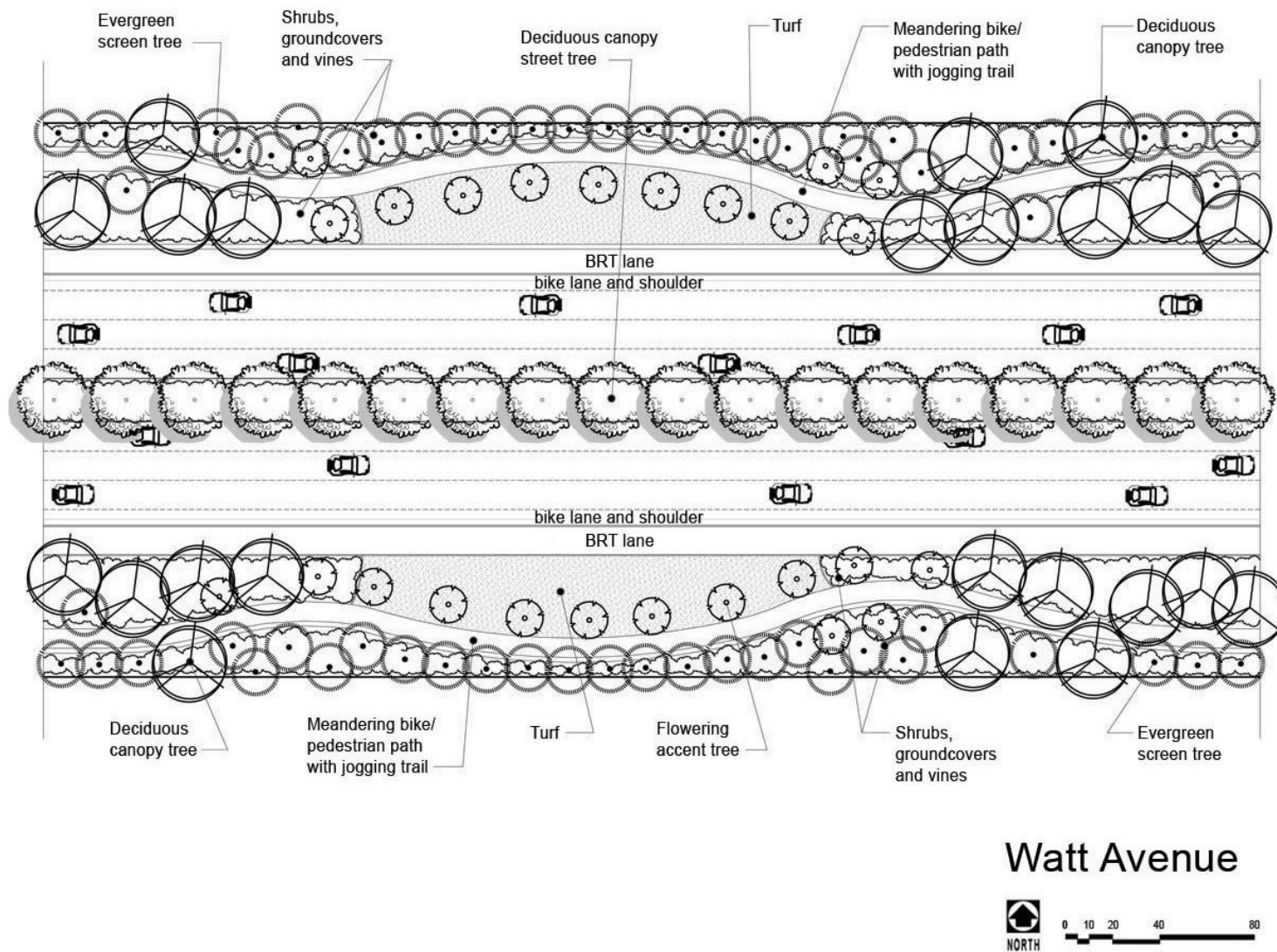
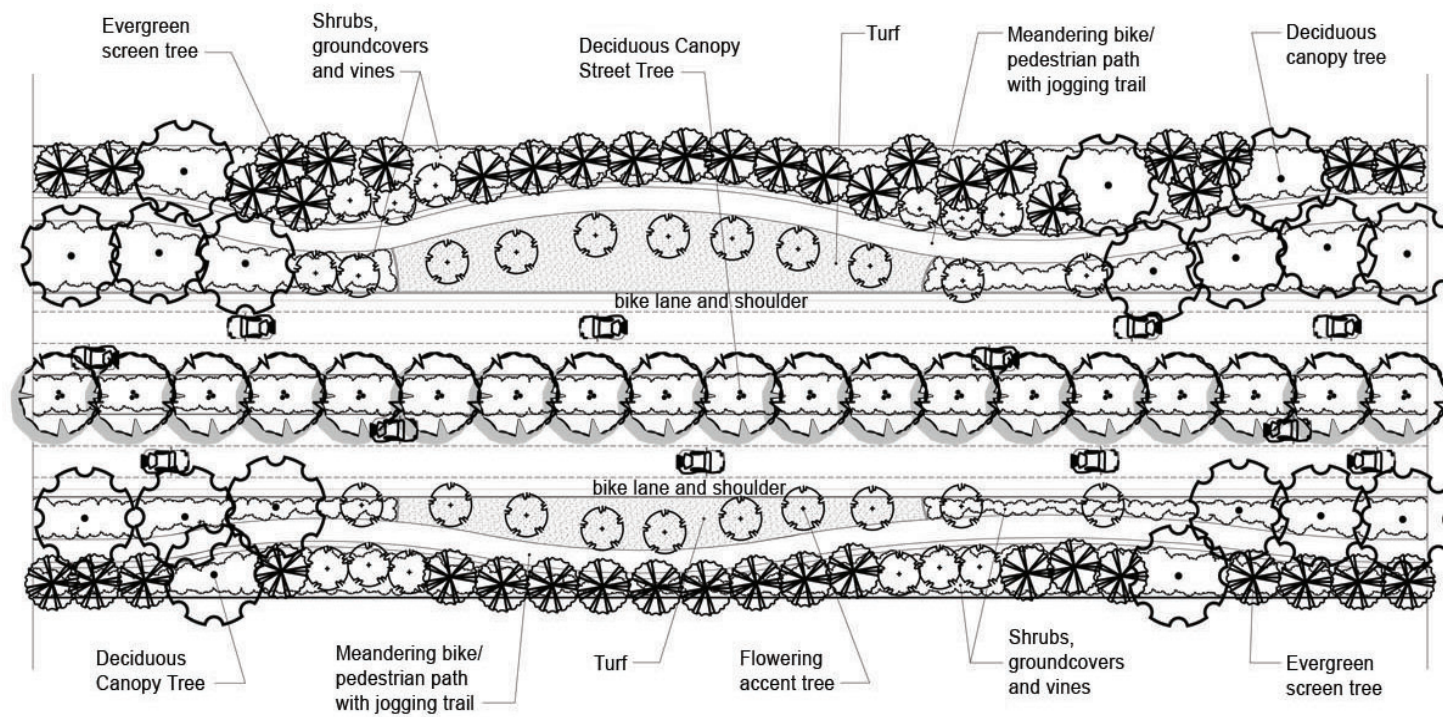
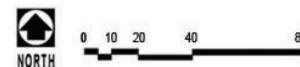


Figure 6.3 Dyer Lane Landscape Corridor



Dyer Lane



Sidewalk and Street-Side Trail Design Guidelines

General guidelines for sidewalks and trails along major streets are as follows:

1. Highly visible and lighted crosswalks will be located at all major intersections. Alternative surface materials are encouraged at crosswalks.
2. Sidewalks shall have a minimum clear path of 5 feet in Placer Vineyards for pedestrian and wheelchair access.
3. Streetscape elements such as seating, benches, bike racks, signage, fire hydrants, news racks, bus shelters, lighting, planters, trees, and utility poles and boxes should be located in landscape lots or sidewalks. It is desirable to combine these elements when feasible.
4. Privately maintained areas adjacent to sidewalks should enhance the public space. Materials used for walls, fences, and pavement should be coordinated with and complement the streetscape design.
5. Streetscape elements and paving materials should be of high quality to minimize maintenance. The quality of material and surface pattern contributes to the pedestrian experience.

Policy 6.7 Street Tree Design.

Street tree planting throughout Placer Vineyards will vary depending on the type and size of each street and the desired character of the individual neighborhoods.

1. *In general, street trees should be planted at regular intervals (approximately 25-30 feet apart), depending on the tree selected, to create a shaded canopy along the pedestrian travel way (see Appendix B for a recommended plant palette).*
2. *Street tree selection and plant locations will vary along the major thoroughfares such as Watt Avenue and Dyer Lane to create a naturalistic feel to the street corridors.*
3. *Street tree plantings can be modified to incorporate existing trees and native oaks where appropriate.*

Street Tree Design Guidelines

General street tree guidelines include the following:

1. Deciduous canopy trees and low ground cover should be placed in landscaped areas between the curb and sidewalk, while evergreen trees, shrubs, and vines should be located in landscaped areas between the sidewalk and walls or buildings.
2. The street tree conditions will serve as visual screens and buffers from development. Along thoroughfare and arterial streets, the dominant tree specified will be used 70% of the time.
3. Neighborhood streets shall be designed to include one row of large deciduous canopy trees.
4. Primary street trees should be large canopy species that create a dense green environment at maturity. These trees should be planted with sufficient spacing to create full coverage and to allow for mature growth.
5. Accent trees with color and seasonal flowering should be planted in clusters that exhibit interest and highlight intersections, entry points, or important destinations.
6. Street tree selection should reflect the environmental characteristics of the region. Low maintenance and drought-tolerant species are recommended.
7. Tree selection should reflect the unique character of each neighborhood or street and planted to ensure the spatial continuity of the street.
8. Street trees should have the ability to thrive in urban conditions where tree roots are often impacted by sidewalks and other obstacles such as underground utility lines and vaults.
9. The size and spacing of street trees can help identify the street classification and function. In general, thoroughfares and arterials should be landscaped with larger canopy street trees and spaced accordingly. Collectors should be planted with different, smaller tree species, and local neighborhood street trees should be planted with yet another tree type.

6.2.3 COMMUNITY GATEWAYS

The gateways into the community help define separate and distinct areas of the project, while providing for a sense of arrival. Placer Vineyards is designed with a series of community and neighborhood entry points. The entryway concept provides a hierarchy of entryway experiences and when coordinated with the street system will help orient visitors and community residents to the site. Entryway designs should complement the overall image and style of Placer Vineyards community, as will be defined in The Landscape Master Plan. Placer Vineyards will incorporate primary entries at major arterials throughout the project and minor entry points at other streets (see Figure 6.4).

Goal 6.8 Create attractive gateway features that help establish a distinct identity for the Placer Vineyards community and its neighborhoods and helps orient visitors to the site.

Goal 6.9 Use a consistent application of elements such as landscaping, signage, fencing, and lighting at key entrances to the community.

Policy 6.8 Entryway Signage.

Entryway signage will consist of monument signs set in medians on one or both sides of the street. Entryway signs should be located outside the right-of-way when they are proposed along the sides of streets and may be incorporated into walls or other architectural features to emphasize the transition. The complete signage program design for Placer Vineyards will be developed in more detail at a later date.

Design Guidelines for Primary Entries

1. Entries should be designed to represent the character of Placer Vineyards.
2. Entries should be treated with similar materials, colors and forms.
3. Entries should be designed to highlight the transition into Placer Vineyards with taller vertical elements.
4. Entry walls should be designed as low profile monument signs.
5. The ground plane entering into the Placer Vineyards neighborhood core should be highlighted from the street with colored and textured paving.
6. Landscape materials, oak trees and other plantings should be formal groupings, to reinforce the signage and entryway features.
7. Landscaping should be carefully placed to avoid obscuring signage.

8. Up-lights and halo-lit signs and monuments should be integrated into entryway features.
9. Primary entry signs are not intended to be used for individual business advertisement.
10. Entry signs shall be designed not to interfere with vehicle sight distances.

Policy 6.9 Minor Entries.

Minor entries should be located outside the right-of-way at intersections to the internal street system to identify and mark the transition into residential neighborhoods in Placer Vineyards. The entries are small-scale landscape or architectural features that may include signs or monuments at the street corners. These features can serve as landmarks that give special identity and character to each residential neighborhood or block and may include special lighting, flowering trees or public art.

Design Guidelines for Minor Entries

1. Minor entries should be designed with a consistent visual theme using similar materials, landscaping, lighting, and architectural forms.
2. The minor entries should be incorporated into the landscape areas outside the street rights-of-way. Features may include landscaping, signage, lighting, decorative walls, and other architectural forms that provide transition.
3. Designs should incorporate pedestrian streetscape elements and landscape materials that represent the area's urban, mixed-use character.
4. Surface textures and colored paving materials may be incorporated into the ground surface.
5. At the entry into mixed-use areas, land uses and building corners should exhibit a more active and pedestrian retail environment. Within the Town Center and commercial areas, entries should incorporate larger building setbacks, corner entry plazas, and storefront windows and doorways.
6. Minor entry signs shall be designed to be low-profile, monument-type signs that do not interfere with vehicle sight distance.
7. Minor entry signs are not intended to be used for individual business advertisement.

COMMUNITY DESIGN

Policy 6.10 Community Gateway Theme.

All entries should include thematic architectural or landscape design elements that incorporate a special landmark feature or public art to identity destinations in the community, representative of the Placer Vineyards character. Public art shall be subject to Design Review approval.

Policy 6.11 Northern Community Gateways/ Entries.

The primary northern entries will be provided on Baseline Road at Dyer Lane, 16th Street, Watt Avenue, and East Dyer Lane. Minor entries will be located at other additional collector roadways intersecting Baseline Road, as indicated in Figure 6.4.

Policy 6.12 Southern Community Gateways/ Entries.

South of the project site, primary entries will be located along the Sacramento/ Placer County Line at 16th Street, Tanwood Avenue, and at Watt Avenue where it intersects with Dry Creek. (see Figure 6.4).

Policy 6.13 Minor Community Gateways/ Entries.

Minor entries, as identified in Figure 6.4 will consist of landscaped setback areas on each side of the road. They will receive similar treatments to major entries but will be smaller in scale.

Figure 6.4 Community Gateway Site Location Diagram

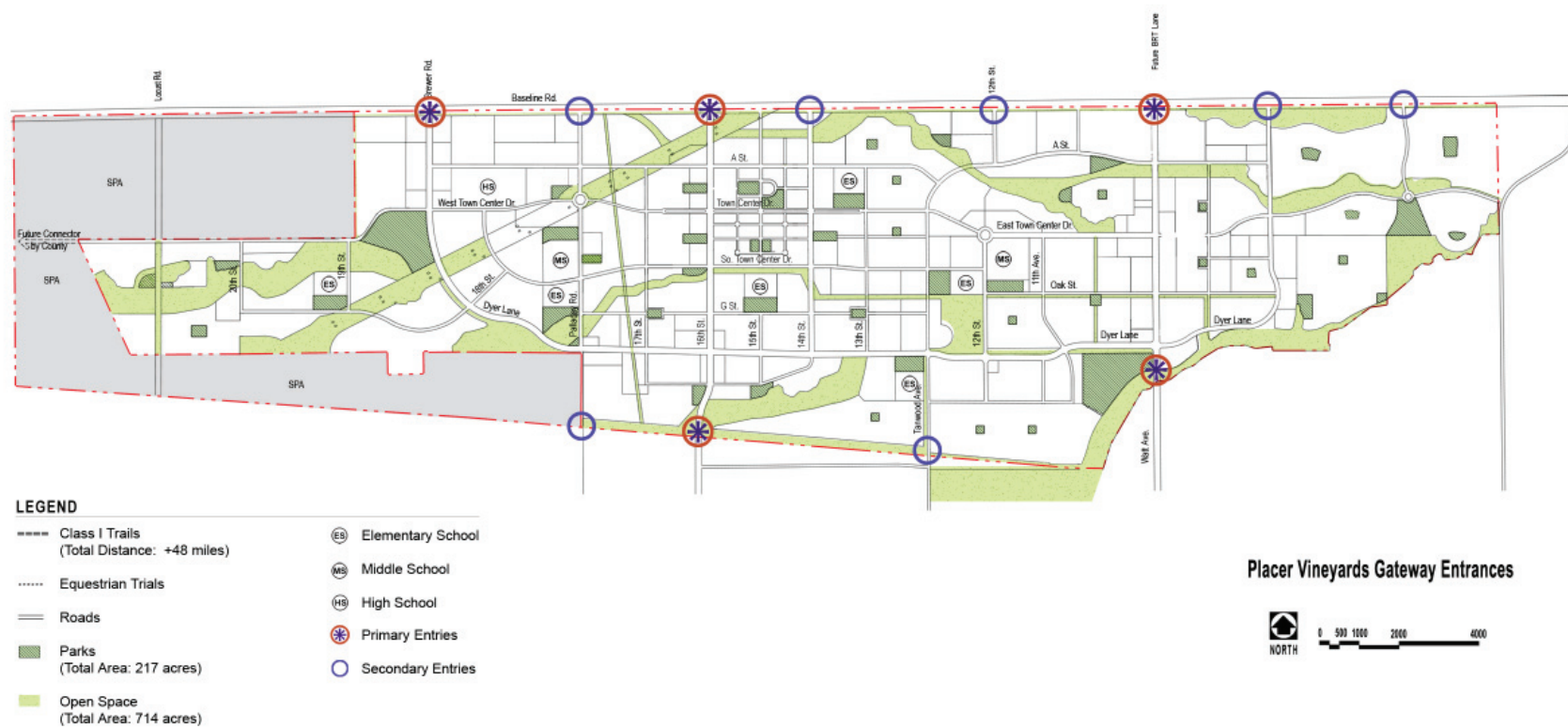


Figure 6.5 Conceptual Gateway Entry Features



MAJOR COMMUNITY ENTRIES

ENTRYWAY MONUMENT SIGNS



MINOR COMMUNITY ENTRIES



ENTRIES MAY BE IDENTIFIED
USING LANDMARK
FEATURES OR PUBLIC ART



6.2.4 SIGNAGE SYSTEMS

Signs and landmark features located throughout the Planning Area will help to establish a coordinated and consistent quality, character and image for Placer Vineyards and aide residents and visitors in navigating through the community.

The intent of creating a system of permanent signs is to convey information regarding the names of streets, neighborhoods, particular locations and community facilities. Permanent signs include community entry signs and features, neighborhood signs and entry landmarks, street signs, directional signs and business identification signs. The complete signage program design for Placer Vineyards is not addressed in this Specific Plan but will be developed for review and approval by Placer County separately in more detail at a later date.

Policy 6.14 General Sign Requirements.

All signage shall be subject to the approval of a sign permit by the Placer County Planning Department and shall conform with the sign standards of the Placer County Zoning Ordinance (see Sections 17.54.170 through 17.54.200) unless this is superseded by the adoption of a separate signage program for Placer Vineyards.

1. *In general, all signs shall be utilized for information and identification, not as individual business advertisement.*
2. *Signs should be made of materials and coatings that are permanent, durable and vandal resistant.*
3. *Sign walls and monuments shall not exceed 10 feet in height and shall be compatible with the quality, site environment and overall character of Placer Vineyards.*
4. *Lighting of entry signs shall consist of either indirect lighting with the light source at ground level or internal halo type lighting. In both cases, the lighting source shall not be visible from traveled roadways.*

6.2.5 LIGHTING

Lighting throughout the Plan Area is an integral part of the overall community image and character. In addition to reinforcing the character of the Town Center, Village Centers, parks and the streetscape, lighting helps to increase the safety and security of residents and users. The lighting design for Placer Vineyards is guided by the following goals and policies.

Goal 6.10 Provide sufficient lighting to increase the safety and security of residents and visitors to Placer Vineyards on its streets, parks, and pedestrian pathways. Provide lighting that is attractive and compatible with other design features in the community.

Goal 6.11 Maintain the spirit and intent of the Dark Skies standards (the ability to view the night sky) by protecting against glare and excess lighting, providing safe roadways for motorists, cyclists and pedestrians, and promoting efficient and cost-effective lighting.

Policy 6.15 General Lighting Requirements.

Lighting shall be designed and located to meet minimum, necessary ambient light levels for any given location consistent with public safety standards.

1. *Lighting should occur at intersections, areas of major pedestrian activity, and building entries, and generally should be minimized elsewhere.*
2. *Street lighting shall be directed and regularly spaced, and shall project light down to the road surface and away from the building.*
3. *Decorative pedestrian scaled lighting fixtures shall be used in the Town Center, village centers, commercial centers, parks, and other major pedestrian activity areas.*
4. *The selection and design of lighting fixtures shall minimize glare and excess spillage onto neighboring properties. All street lights shall utilize cut-off fixtures to minimize visibility from adjacent areas of the community and public use areas.*
5. *No lighting shall blink, flash, or be of unusually high intensity or brightness.*
6. *Lighting fixtures should be energy efficient and provide a balance between energy efficiency and pleasing light color and coverage. Avoid low-pressure sodium fixtures. Acceptable light sources include mercury vapor, metal halide, and similar sources.*

Policy 6.16 Street Lights.

Street lighting on Baseline Road and Watt Avenue shall be simple cobra-head light fixtures, located particularly at major intersections. Street lights for collectors and local streets should be decorative fixtures that are compatible with character of the Placer Vineyards streetscape (see Figure 6.6 for examples of street lights). The selection of street lights for Placer Vineyards will be addressed in the Landscape Master Plan.

1. **Color:** *The color of street light poles and fixtures shall be consistent throughout the community. All specified metals shall utilize anodized coatings, rather than painted colors.*
2. **Materials:** *Street light poles shall be either metal or wood fixtures.*
3. **Town Center:** *Street lighting in the Town Center shall consist of ornamental street lights flanking the roadways. Street lights shall be located in parallel pairs along the length of the street, spaced to provide illumination levels of 0.5 footcandles, and shall not exceed 14 feet in height.*
4. **Village Centers:** *Village Centers shall use a design in the same design family as the ornamental street lights in the Town Center, however, each Village Center shall utilize a light fixture designed to give the center a unique character and identity.*
5. **Baseline Road and Watt Avenue:** *Street lights on Baseline Road and Watt Avenue shall be simple, single- or double-arm, cobra-head lights, spaced as required to maintain illumination levels of 1.75 footcandles, and shall not exceed 40 feet in height.*
6. **Arterial Streets:** *Street lights on arterial streets shall be selected decorative fixtures, spaced, as required, to maintain illumination levels of 1.0 footcandles on alternating sides of the street, and shall not exceed 25 feet in height.*
7. **Collector and Local Streets:** *Street lighting on collector and local streets in residential neighborhoods shall be ornamental or decorative street light fixtures, spaced, as required, to maintain illumination levels of 0.5 footcandles on alternating sides of the street, and shall not exceed 14 feet in height.*
8. **Neighborhood Entries:** *Street lights at neighborhood entries shall consist of ornamental or decorative fixtures flanking the roadway, located in pairs, and shall not exceed 14 feet in height.*

Policy 6.17 Pedestrian Oriented Lighting.

Pedestrian oriented lighting is encouraged within the Town Center, village centers, commercial centers, parks, and major pedestrian activity areas.

1. *Pedestrian lighting shall consist of smaller pole fixtures, spaced to maintain illumination levels of 0.5 footcandles, and shall not exceed 14 feet in height.*
2. *Alternatively, use of bollard lighting fixtures along pedestrian paths of travel is also recommended.*

3. *With the exception of sports lighting, wood poles are recommended in parks and open spaces and along major pedestrian paths, in keeping with the more rural and rustic theme for Placer Vineyards. Specialized pedestrian lighting should be used to distinguish differences in individual neighborhoods and areas within Placer Vineyards.*
4. *Pedestrian lighting should be incorporated into the landscape design along major pedestrian paths of travel at appropriate intervals to provide lighted coverage.*
5. *Bus shelters, telephone kiosks, and other site furnishings should be adequately lighted for security and functionality. Light sources shall be included in the structure of the furnishings.*
6. *Pedestrian lighting should be durable and easily maintained and of sufficient intensity to provide lighting without spilling over onto road rights-of-ways and adjoining properties, or conflicting with street lighting.*

Policy 6.18 Recreation Areas and Athletic Facilities.

Lighting for athletic fields and court facilities shall be designed to minimize illumination and spillage onto neighboring uses and residential areas. Athletic facility lighting shall be provided only in the two community park facilities and the Town Center recreation center. Mercury vapor or metal halide lamps, mounted 30 feet to 50 feet high are recommended.

Policy 6.19 Parking Lot Lighting.

Parking lot lights shall be no higher than necessary to provide efficient lighting of the parking areas and shall not exceed 25 feet in height for larger parking lots, including the base. Illumination levels shall be maintained at 1.0 footcandles. Spacing between light poles shall be determined by the required level of illumination.

1. *The fixture design style and colors shall be compatible with the architectural design of the site.*
2. *Within the Town Center and village centers, the design and color of parking lot light fixtures, shall be consistent with the design of street lights.*

Policy 6.20 Landscape Lighting.

Landscape lighting shall be limited to important landscape areas, entryway features, signage, or pedestrian areas.

1. *The design of landscape light fixtures shall be hidden from direct view unless designed as an integral part of the area's design.*
2. *The light source shall be shielded from direct view at night, with the emphasis on the object or area being lighted. Up- lighting and mood lighting in trees and landscaping can be effective design feature for special entries, signs, water features, and landmarks.*
3. *Landscape light fixtures shall be durable and easily maintained. For ease of maintenance, landscape light fixture types and lamps shall be consistent with landscape design and street lighting for each neighborhood.*

Policy 6.21 Service Areas and Security Lighting.

Lighting in services areas shall be designed to avoid spillover onto adjacent properties and activity areas, and shielded from direct view of the light source at night.

1. *Building-mounted flood light fixtures should not be used unless the light source is completely shielded from public view.*
2. *Low-pressure sodium fixtures or other lighting types that contrast excessively with lighting in the surrounding use area lighting should be avoided unless completely shielded from public view. Mercury vapor, metal halide, and similar fixture types are permitted.*

Policy 6.22 Building Identification/ Street Number Lighting.

Lighting of building identification and street numbers on buildings is encouraged to help locate buildings during evening hours.

1. *Lighting of street identification or numbers may be internally lit or back lit, but external spot lighting is preferred.*
2. *Street number lighting should be subdued and not contrast excessively with the surrounding area lighting.*
3. *Numbers and lighting should be conveniently placed near the building entry and should be visible from the street and adjoining parking lots.*
4. *Buildings placed back from and not visible from the street may use freestanding lighted monuments or small pedestrian poles lights with mounted street numbers to identify street addresses of the building from the street.*

Figure 6.6 Street Light Design



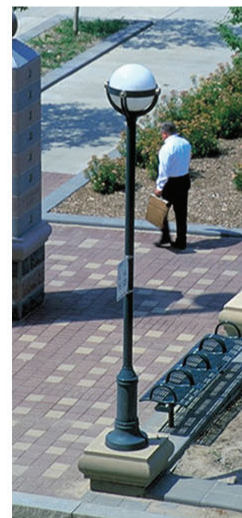
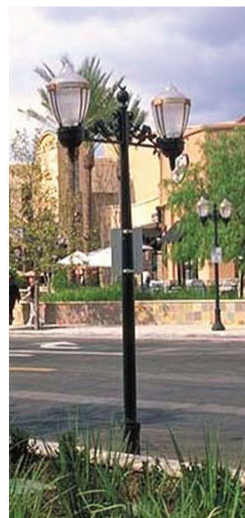
COBRA HEAD LIGHTS



ARTERIAL STREET LIGHTS



PARKING LOT LIGHTS



PEDESTRIAN STREET LIGHTS (AT PUBLIC AREAS & RESIDENTIAL NEIGHBORHOODS)

6.3 CENTERS OF ACTIVITY

The centers of activity are the specially designed places that organize and configure the Placer Vineyards community. These activity centers include the Town Center (See Section 6.3.2), the village centers (See Section 6.3.3), the Baseline regional commercial corridor (See Section 6.3.4), and neighborhood commercial centers (See Section 6.3.5). These are the core spots and community gathering places for Placer Vineyards, as shown in Figure 6.7.

Special treatment is given to the design of these mixed-use, neighborhood sites with emphasis placed on creating a safe and pedestrian friendly setting with easy and convenient access by multiples means of transit. Commercial and other non-residential properties located within the Centers of Activity shall require design review. All buildings and improvements proposed within the centers of activity are subject to approval of a Design/ Site Review Agreement as outlined in Section 7.52.070 of the Placer County Zoning Ordinance and to the land use and development standards provided in Appendix A.

6.3.1 GENERAL DESIGN GUIDELINES FOR ACTIVITY CENTERS

Goals:

- Goal 6.12** Design for a variety of activity centers that serve their respective functions and add value to the communities where they exist through the provision of jobs, services and economic activity.
- Goal 6.13** Provide a range of housing close to commercial centers.
- Goal 6.14** Create attractive and comfortable outdoor pedestrian activity areas adjacent to buildings, entries and along major commercial streets.
- Goal 6.15** Design parking areas that are in-scale with and are visually subordinate to the developments they serve.
- Goal 6.16** Design buildings whose architectural character contributes to the vitality and attractiveness of the districts, neighborhoods, shopping centers, and work places in the community.
- Goal 6.17** The heights of buildings shall be related and proportional to the activities and surrounding context in which they are located.

Policies:

Policy 6.23 *Density within Centers of Activity.*

The Town Center, village centers, and Baseline Road commercial corridor should be established at sufficient densities to support express bus transit from Placer Vineyards and other neighborhood areas in the region.

Policy 6.24 *Pedestrian Orientation.*

Design elements that accommodate pedestrians and cyclists shall be equally treated or take precedence over elements that primarily accommodate automobiles, especially in the Town Center, Village Centers, Neighborhood Centers and access areas leading into parks, schools and other public facilities. Retail centers and commercial areas shall be designed to provide maximum pedestrian accessibility, as described below.

- 1. Ground-floor commercial buildings shall be oriented to plazas, parks, and pedestrian-oriented spaces and streets rather than to interior blocks or parking lots.*
- 2. Street-level windows and numerous building entries, including arcades, porches, bays, and balconies are encouraged.*
- 3. Walls of commercial establishments without an entry or a pedestrian route shall include windows and display areas, or shall be lined with retail shops to provide visual interest to pedestrians.*
- 4. Entries to small shops and offices shall be sited to directly open onto a pedestrian-oriented street. Buildings with multiple retail tenants should have numerous street entries.*
- 5. Parking areas shall be designed with separate vehicular and pedestrian circulation paths and include traffic calming design features. Alternative surface materials are encouraged to differentiate pedestrian circulation paths.*

COMMUNITY DESIGN

6. Off-street parking should be located at the rear of buildings with separated walkways leading to the street and entryways.

Policy 6.25 Parking Lot Shading.

New parking lots serving retail and office developments shall include tree plantings designed to result in 50% shading of parking lot surface areas within 15 years. These shading requirements shall apply to all impervious surfaces on which a vehicle can drive including parking stalls, drives and maneuvering areas within the property. Placer County shall use the City of Sacramento Parking Lot Tree Shading Design and Maintenance Guidelines, June 17, 2003 edition, to implement these requirements.

Policy 6.26 Building Heights.

Taller buildings will be located along the major commercial nodes, at the Town Center and within the office and commercial areas along Baseline Road. Lower story buildings and less intense development will be located adjacent to existing neighborhoods in the Special Planning Area to provide appropriate transitions to more intense development at the center and along the major transportation corridors in the Plan Area.

BUILDING DESIGN GUIDELINES

Development should be designed to provide varied and interesting building facades and provide variety without creating a chaotic image. Facades should vary from one building to the next to avoid an overly unified frontage. Continuous covered walkways should be provided whenever possible.

Architectural Details:

Provide architectural detailing that gives buildings human scale, visual interest, and distinctiveness through the following:

1. Use a variety of architectural elements such as arcades, recessed exterior balconies, changes in the façade treatment, window awnings, canopies, and other building elements that create visual interest through light and shadow.
2. Use special architectural features to accentuate building entries.
3. Avoid large blank walls at the building base along pedestrian walkways and entries. The building base should be articulated with changes in materials, color and finishes, window and door patterns, and use of special building entrance features.

4. Coordinate the design of exterior elevations, roofs, and details to create a consistent overall design pattern within a buildings and development site.
5. Articulate wall and window surface places with setbacks, recesses, trim, reveals, or other design detail to add visual interest, scale, and changes in light and shadow to building facades.
6. Screen all utility boxes and rooftop equipment to provide attractive views on the street or from adjacent taller buildings. Avoid use of chain link fences as rooftop screening.
7. Use high-quality finishes and materials that contribute to creating a unified building character and ensure a consistent design quality, particularly on surfaces adjacent to pedestrian spaces.

Build-to-Line:

The build-to-line establishes a minimum percentage of building space (retail uses, public uses, or active spaces) facing the street with a minimum percentage of windows, doorways, and entry spaces facing onto the sidewalk. Activity spaces opening onto the street, enhance the pedestrian character of the street, provide for visual surveillance into the public realm, and increase the safety and security of the area.

The “Town Center” section of this chapter establishes a set of build-to-lines and their requirements for the Town Center. Commercial/ Mixed Use sites in the village centers and neighborhood centers should also establish build-to-lines.

Materials:

Materials used should reflect the style and overall character of buildings. Permanent, long-lasting, low-maintenance building materials are encouraged. These may include stone, stucco, brick, high-quality wood products, steel panel, or flange steel.

Use of Color:

Colors should be used to bring together materials used in the design of the site and can complement the building architecture. Colors should be used to give distinct character to different buildings and different tenants within large building complexes.

Roofs Forms:

Roof form should be used to identify and articulate different buildings and distinguish different tenants within a larger building complex.

Cornices:

When used, cornices should have contrasting colors and materials to the wall surface areas below them.

Towers:

Tower elements may be incorporated into building designs to create identity when appropriate to the building aesthetic. They can provide a change in scale at the street corners or be sited in between buildings to provide focal points and transitions between spaces or buildings in a multi-tenant complex. Tower elements should be used sparingly and not conflict with the rhythm of vertical elements on the block.

Windows:

The shape, size, and placement of windows are major design elements that help establish the style and character of a building's design. Windows, located at the ground floor, along major pedestrian commercial streets, should be large display windows that have a transparent quality, connecting the activities within to the pedestrian experience outside. On upper floors, window design elements such as shutters, canopies, recesses, and other elements should be used to add variety to the building design fronting the street.

Canopies, Awnings, and Arcades:

Canopies, awnings, and arcades should be used along pedestrian streets to add an additional layer of variety, depth, and interest to building facades. Canopies, awnings, and arcades help identify and articulate major entries, cast shadows on the building facades, and may be used to carry additional signage.

Signage:

Signs should be designed as an extension of the architecture of a building or site and should complement the building or site materials, colors and rhythm of walls, windows, parapets, and other architectural design features. Signage should provide information and identification of shops and tenants, should not

be used as advertisement, and are subject to the standards in Policy 6.14 and the standards and requirements of Section 17.54.170 of the Placer County Zoning Ordinance. Refer to Section 6.2.4 for signage design guidelines.

Wall signs located on multi-tenant centers shall be designed to coordinate with each other through the coordination of sign type, size, placement, illumination, color, and/ or font.

Figure 6.7 Centers of Activity Site Diagram

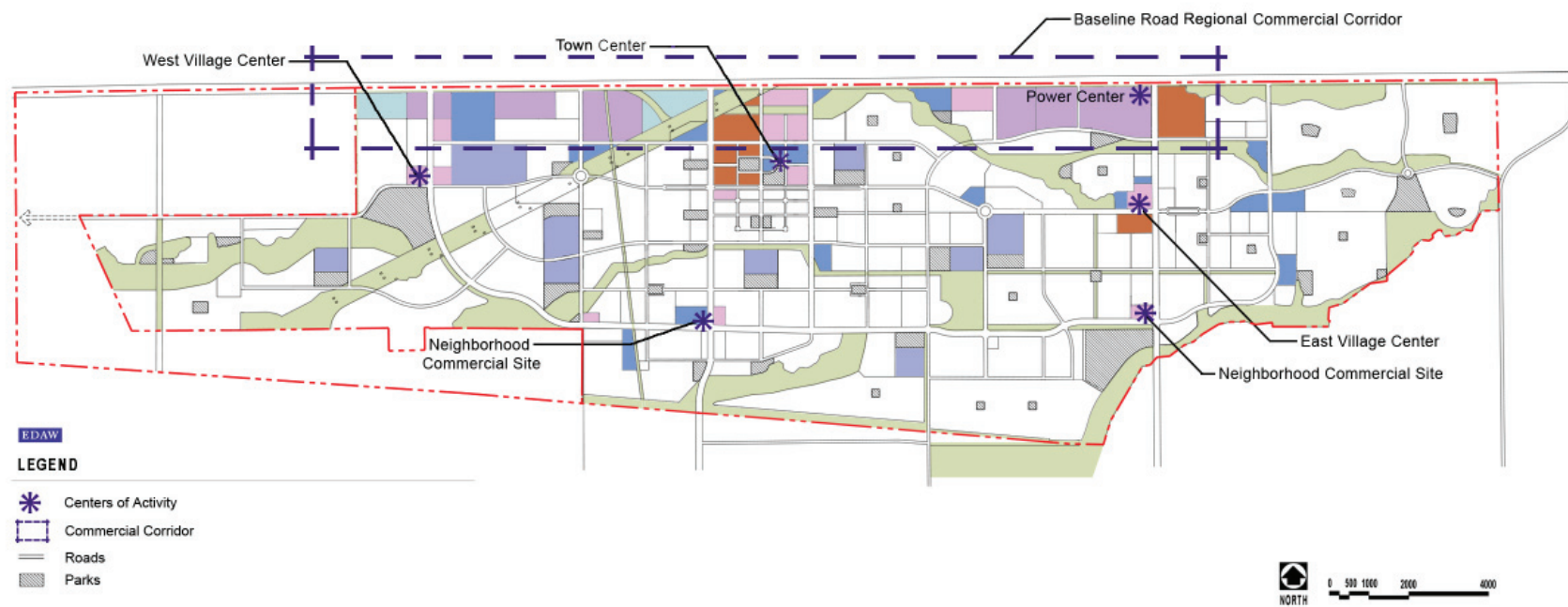


Figure 6.8 Commercial Design



SPECIAL DESIGN TREATMENTS ARE GIVEN TO STREET CORNERS WHICH ARE THE MOST VISIBLE AREAS OF THE SITE AND NATURAL FOCAL POINTS



BICYCLE FACILITIES, SEATING AND OTHER PEDESTRIAN AMENITIES PLACED AT CONVENIENT LOCATIONS TO BUILDING DESTINATIONS

SIDEWALK FOR COMFORTABLE PEDESTRIAN ACCESS THAT CONNECT ADJOINING RETAIL STOREFRONTS TO OUTDOOR ACTIVITY AREAS



COMMUNITY DESIGN

6.3.2 TOWN CENTER

The Placer Vineyards Town Center is located in the “heart” of the community, just south of Baseline Road from 16th Street east to 14th Street. The Town Center provides a “traditional” small-town core and acts as the community focal point for Placer Vineyards residents. The urban design vision for the Town Center is focused on a traditional grid street pattern, organized around a town green. The Town Center is intended to be pedestrian in scale with large tree-shaded streets, with retail and civic uses oriented to the street.

Goal 6.18 *Create a mixed-use, pedestrian-friendly Town Center that provides a range and mix of uses, including higher density residential mixed-use developments; loft spaces; professional offices; traditional retail stores, neighborhood-serving retail and services; entertainment uses, such as movie theaters and live entertainment venues, restaurants and cafes; and a range of public uses, including a Community/ Recreation Center; library; and civic buildings for government offices, community meetings and public gatherings.*

Policy 6.27 Town Center Design.

The Town Center shall be designed to serve as the public, institutional and social focal point for the community. The Town Center will contain a community center or meeting facility that may include formal outdoor gathering areas, offices, and facilities for law enforcement, fire protection, the library and other public and quasi-public facilities. The Placer Vineyards Town Center shall be designed with a centrally located religious facility (house of worship) that anchors and serves as a visual landmark for the town green.

Policy 6.28 Town Center Streetscape.

The Town Center is designed as a pedestrian-friendly streetscape environment with buildings located behind wide sidewalks. This streetscape environment allows outdoor eating, display areas, and public art exhibits and features angled street parking for easy access to local shops and stores. Shared parking areas are located within the middle of each block with buildings oriented toward the street and the town green.

Policy 6.29 Parking in the Town Center.

The following parking standards apply to the Town Center:

1. *For mixed-use projects, parking may be shared between uses, as defined in Policy 3.21.*

2. *Within the Town Center, all on-street parking may be used in calculation of parking requirements for all land uses. Calculation of on-street parking includes all parallel parking and diagonal parking along the subject parcel boundaries.*
3. *Off-street common parking areas shall be located in the middle of blocks where feasible. Reciprocal access and use agreements shall be recorded between property owners of the businesses that use the parking facility.*
4. *Off-street parking lots shall be screened with shrubs, trees, landscaped berms, and low fences, walls, or other landscape design elements.*
5. *Parking structures, if required or desired, shall be architecturally incorporated into the design of surrounding buildings and landscaping in the Town Center.*
6. *Parking structures facing onto the retail streets shall incorporate ground-floor retail uses along the street*

TOWN CENTER SITE DESIGN GUIDELINES

Recognizing that the build-out of the Town Center will occur over a 20- to 30-year time frame, development within the Town Center shall be guided by the following standards.

1. The Town Center shall be centered on a “Town Green.” The Town Green shall be designed as an urban park, intended to function as the formal outdoor, public gathering place for the community. The Town Green shall provide for convenient pedestrian access and circulation from other portions of the Town Center, comfortable seating areas protected from the sun, and other pedestrian amenities, such as large-canopy shade trees, water features, public art, and a small outdoor band shell or amphitheater for public events.
2. Buildings in the Town Center shall front onto the public streets and the Town Green. See Figure 6.10 for a conceptual massing diagram. Cafes, coffee shops, restaurants, and other food services are encouraged to be located on the periphery of the Town Green with outdoor eating and dining areas facing onto the green.
3. The Town Center shall consist of compact districts continued within a regular grid street pattern to create small, walkable blocks in the commercial core. In general, blocks should typically be about 300 feet in length.

4. At least 70% of the frontage at a “build-to-line” shall be occupied by a building with the façade placed at the back of the sidewalk (see Figure 6.9, “Town Center Design Framework” for the location of build-to-lines suggested for the Town Center).
5. At least 70% of the façade of the first floor of all building in the Town Center shall have transparent glass, windows, entries, doorways or other active spaces fronting onto the public street and sidewalks.
6. A mix of ground-floor and second-story uses is encouraged, particularly adjacent to the Town Green. Second-story uses are encouraged at street intersections and to terminate vistas along the major axis of the square.
7. Street elevations within the Town Center should reflect varying styles and not be limited to one particular theme or style. The scale and massing of the elevations shall respond to the pedestrian scale, creating visual interest, and variety and avoiding continuous blank walls. Buildings shall be a minimum of 25 feet in height.
8. All sides of buildings visible to the public should be designed as active, interesting facades. Service areas and facades that are not generally visible from the public streets and open spaces may be simpler in design treatment.
9. Commercial streets surrounding the Town Green should be designed with diagonal parking and corner bulb-outs to increase pedestrian safety and access across streets.
10. 16-foot-wide, comfortable sidewalks shall be designed with appropriate and coordinated pedestrian furniture including seating, trash receptacles, pedestrian lighting, newspaper racks, bicycle parking areas, drinking fountains, signs, and information kiosks and bus shelters.
11. Additional landscape amenities shall be provided as decorative elements such as landscape planters for flowers, specialized ground cover, corner bulb-outs, flower boxes along outdoor eating areas, and hedge plantings used to screen surface parking lots.
12. Pedestrian and bicycle path systems shall be provided within the Town Center for safe pedestrian access, circulation and connections to surrounding residential neighborhoods.
13. In limited areas, parcels may be aggregated to form larger development sites to accommodate a variety of retail and office uses in the Town Center and to better serve the community shopping needs, such as, a grocery store, hospital site, or department store. Refer to Appendix A, “Land Use and Development Standards,” for commercial site design standards.
14. In the event that a large site aggregation occurs, driveways and pedestrian linkages serving these large parcels shall be located mid-block to better integrate the development into the urban pattern and preserve the street grid.
15. Buildings on larger aggregated sites should be organized to fit into the overall urban character of the Town Center and avoid large parking areas separating the retail use from the Town Center Core.

Town Center Building Design Guidelines

The overall building style of the Town Center should be developed to use traditional materials and building forms to create an architectural character that is unique to Placer Vineyards.

Roofs Forms:

Roof forms should be used to identify and articulate different buildings and distinguish different tenants within a larger building complex. Roof forms in the Town Center may include flat roofs, pitched and hipped roofs and other distinctive roof shapes and forms. Pedestrian areas should be enhanced by shed and gabled roof elements that extend into the pedestrian realm as arcades to provide cover and shade. Dormer elements are encouraged to provide an added layer of detail, shadow, and variety to roof forms. Use of contrived or fake mansard roof elements to screen roof top equipment should be avoided.

Cornices:

Varied cornice elements help to give the Town Center a “built-over-time” appearance.

Canopies, Awnings and Arcades:

Canopies, awnings, and arcades should be used to provide the patrons of the Town Center with protection from the weather during winter rainy months and hot summer months and to identify and articulate the pedestrian way and major entries, or to carry additional signage.

COMMUNITY DESIGN

Towers:

Tower elements situated and massed appropriately can enhance the Town Center's identity and character. Towers can serve as focal points and transitions between spaces. One larger tower should be incorporated in the design of one of the Town Center community buildings to identify it with a landmark, visible from the surrounding community.

Windows:

Window sizes and proportions should be appropriate to the individual building styles and uses. Window forms and shapes may vary from building to building to subtly reflect a "built-over-time" appearance in the Town Center.

Use of Color:

Colors should be consistent within the Town Center District. Colors should be used to bring together materials used throughout the Town Center and can complement the building architecture- stone, concrete, wood, stucco, glass, fabrics, or other materials. Colors should be used to give distinct character to different buildings and different tenants within large building complexes.

Materials:

Materials used should reflect the style and overall character of buildings. The materials used for the Placer Vineyards Town Center should be high quality, long lasting and low maintenance. Use of the following materials is encouraged:

- ♦ Stone
- ♦ High-quality wood products
- ♦ Brick
- ♦ Steel
- ♦ Smooth stucco finishes
- ♦ Glass

Use of the following materials in the Town Center is discouraged:

- ♦ Heavy stucco finishes
- ♦ Contrived stone veneers (stucco stone)
- ♦ Unfinished tilt-up wall panels
- ♦ Large unbroken window walls
- ♦ Exposed concrete block walls
- ♦ Exposed aggregate walls

Signage:

Signs in the Town Center should reflect its overall character and theme and preserve the integrity of the building's architecture. The form, size and fonts used in the Town Center signage systems should vary from building to building and tenant to tenant to create visual interest and give the effect of a cumulative building process. Pedestrian-scale permanent monument signs are also encouraged at information kiosks to guide the visitor from one point to another throughout the Town Center and the Placer Vineyards Plan Area.

Generally, the main identification signs should be mounted flush to the building façade. Projecting signs extending over pedestrian walkways designed as iconic symbols of the retail use are encouraged. Freestanding monument signs within the Town Center core area are discouraged. Neon signage, if used, should be artistically applied as a contrasting element in the building facade.

Lighting and Pedestrian Furniture:

Pedestrian-scale street lights shall be provided at an appropriate spacing within the Town Center, located at street intersections, parking lot access points, pedestrian alleyways, and walkways. Streetlights should be equipped with standards for hanging decorative banners, flags, and flower baskets.

Figure 6.9 Town Center Design Framework

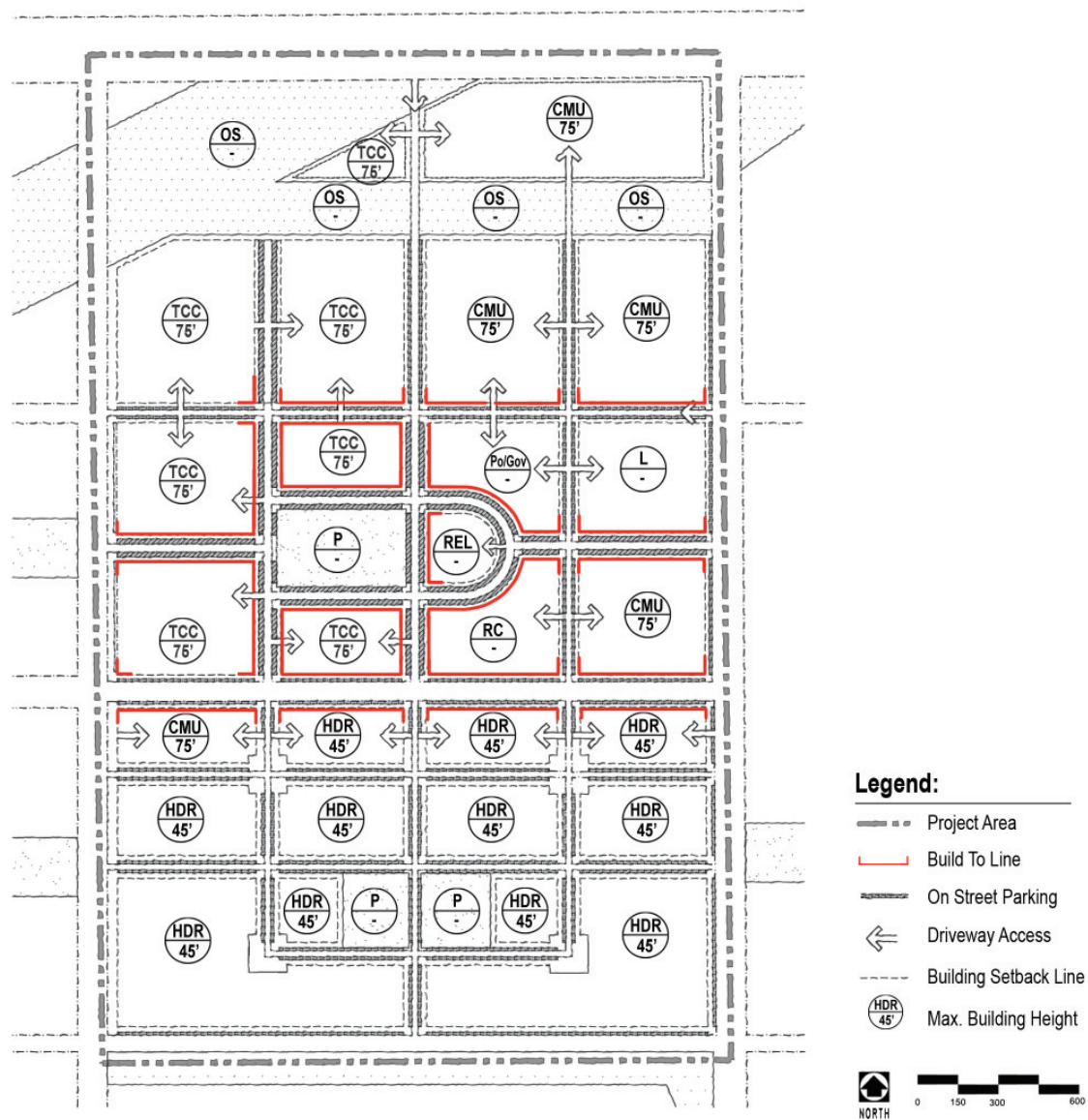


Figure 6.10 Town Center Massing Diagram

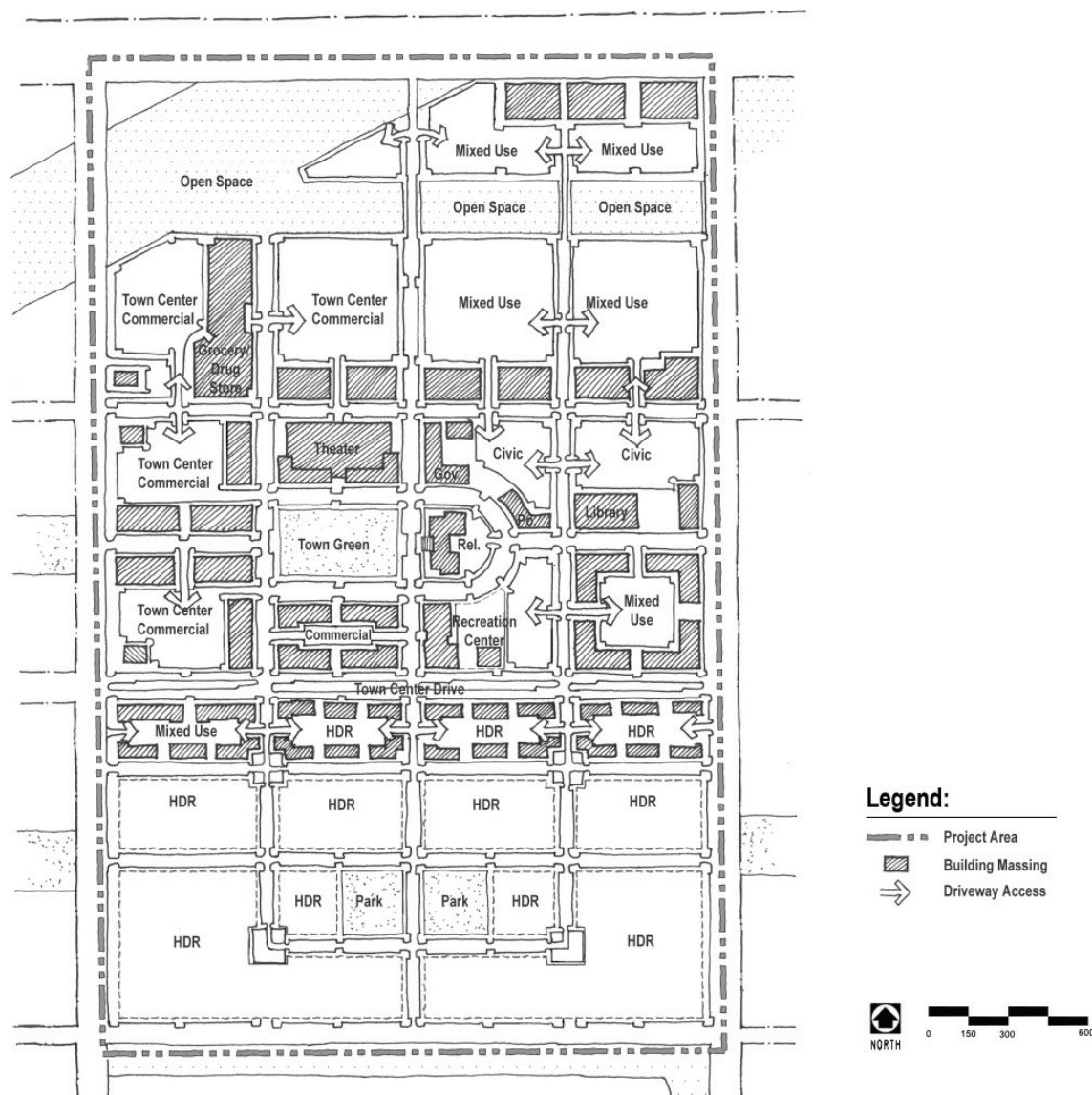


Figure 6.11 Town Center Parking and Streetscape

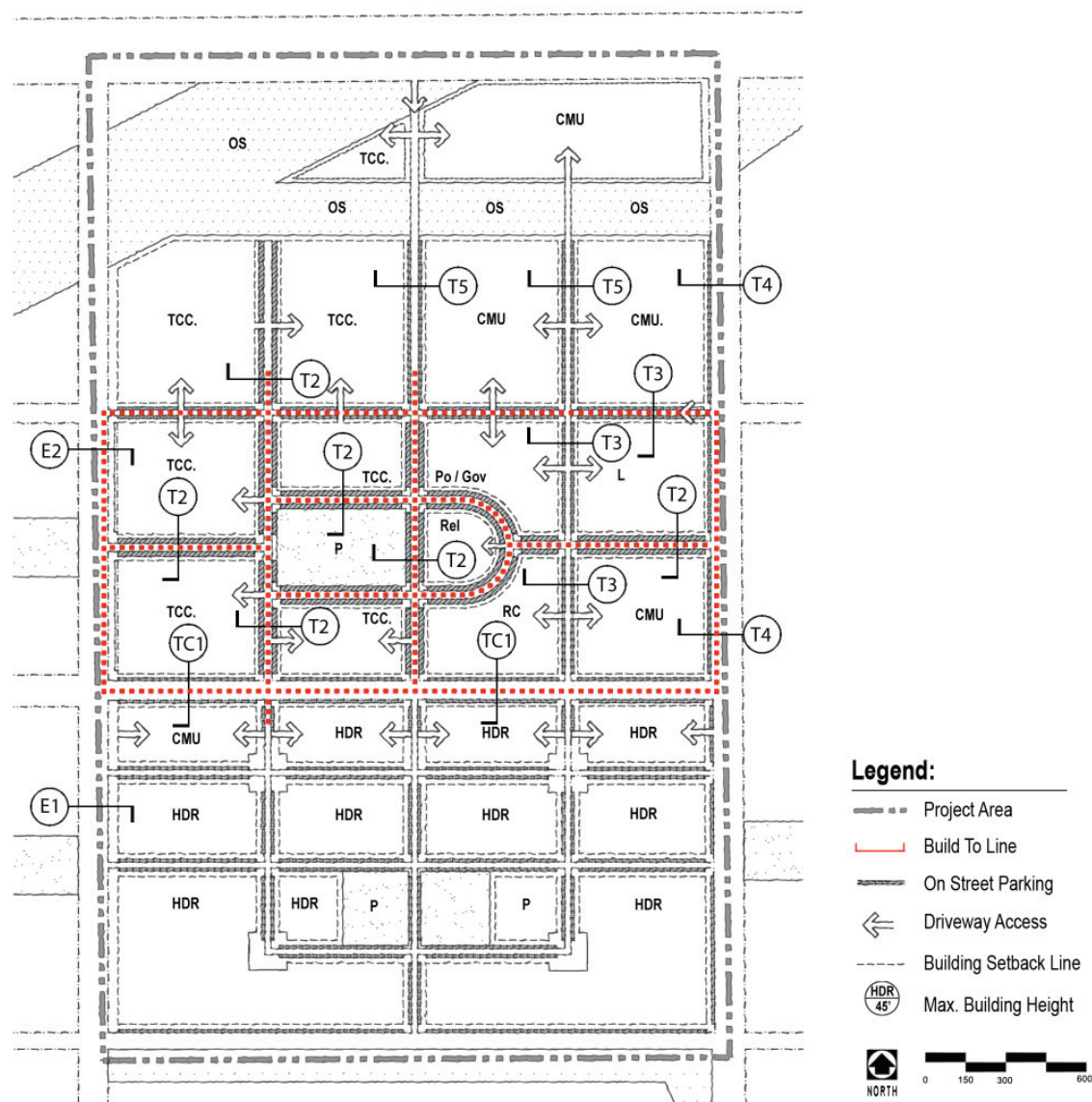


Figure 6.12 Town Center Sections

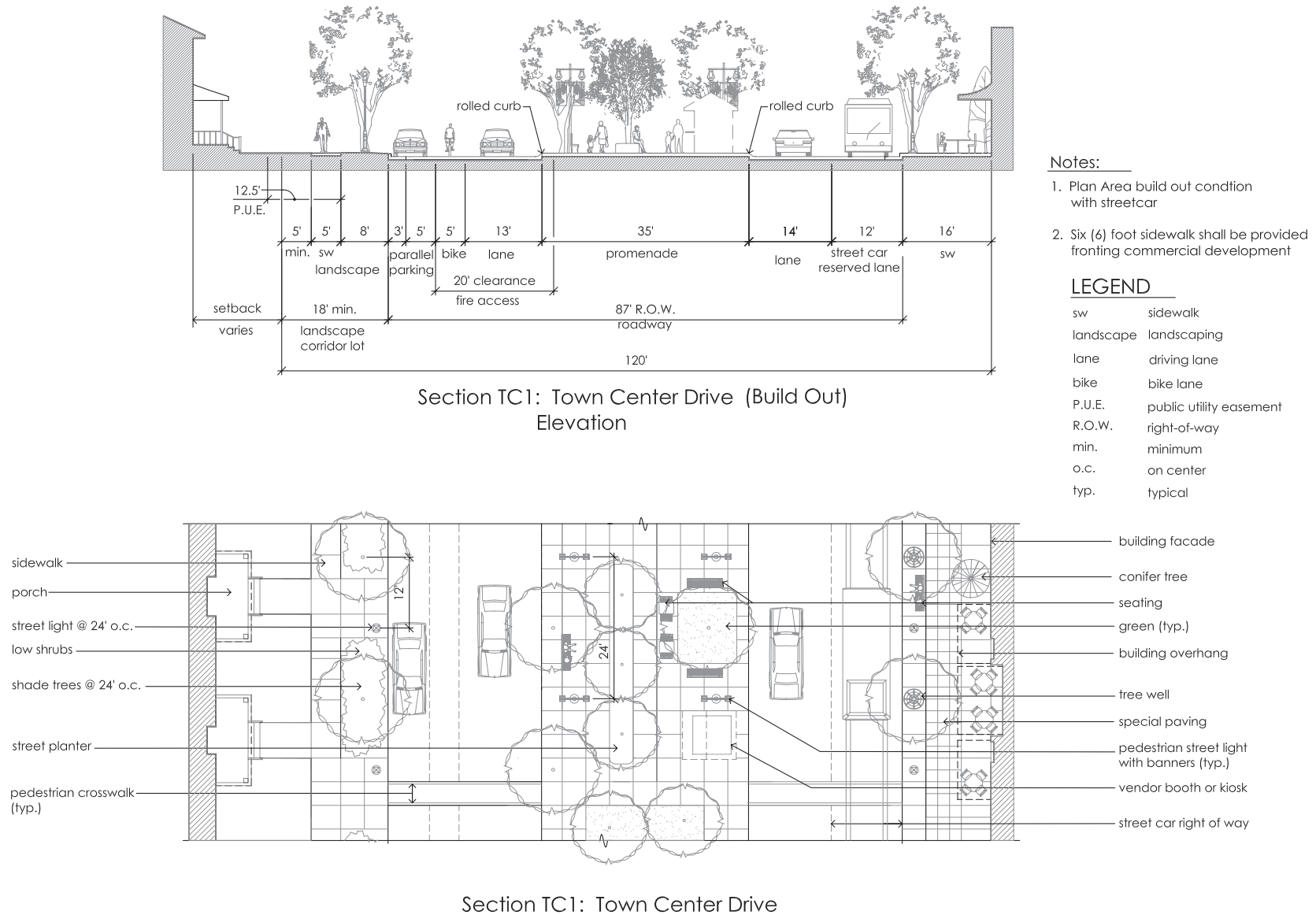
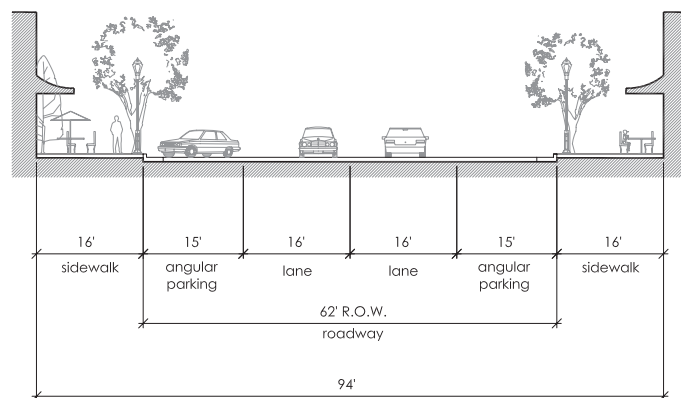


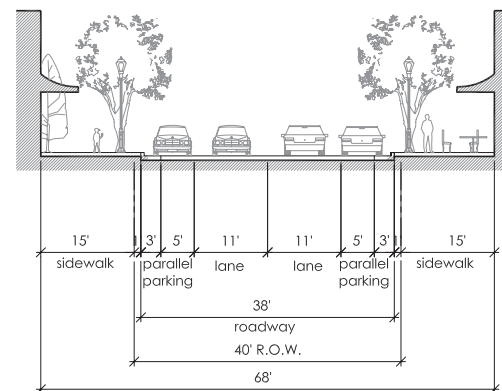
Figure 6.13 Town Center Sections



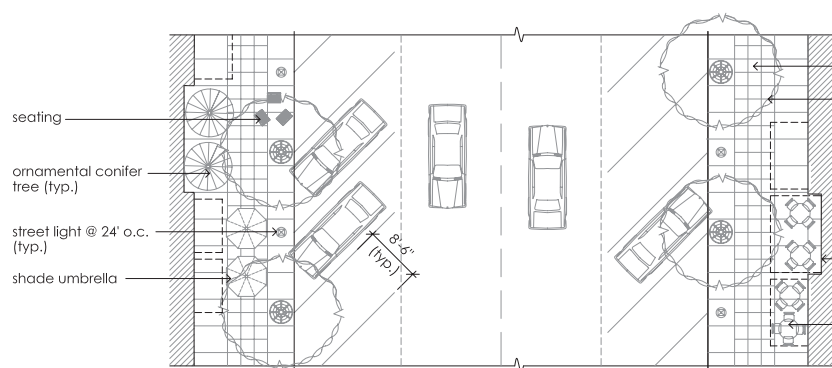
Section T2: Town Center Street
Type A- Elevation

LEGEND

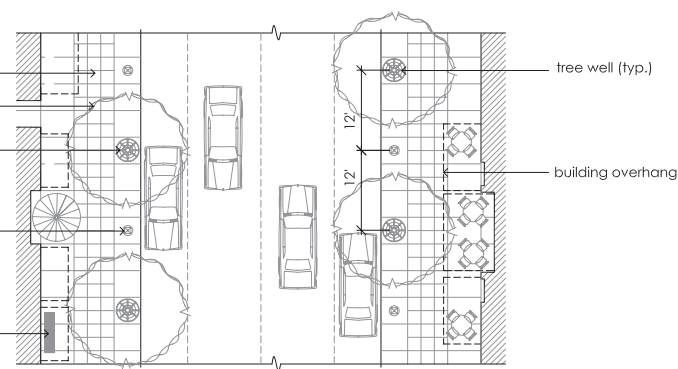
landscape	landscaping
lane	driving lane
bike	bike lane
R.O.W.	right-of-way
o.c.	on center
typ.	typical



Section T3: Town Center Street
Type B- Elevation



Section T2: Town Center Street
Type A- Plan



Section T3: Town Center Street
Type B- Plan

Figure 6.14 Town Center Sections

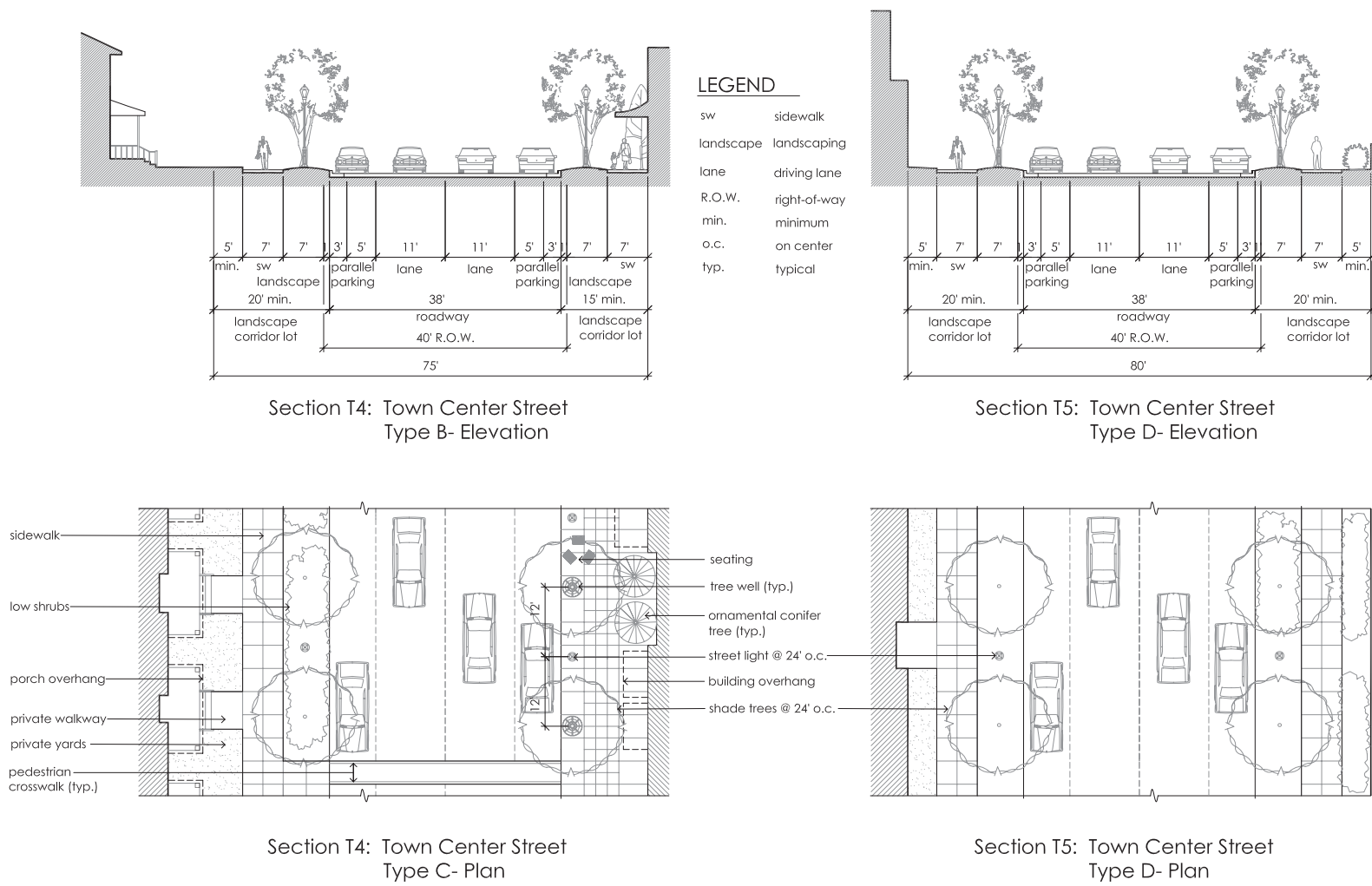


Figure 6.15 Town Center Axonometric

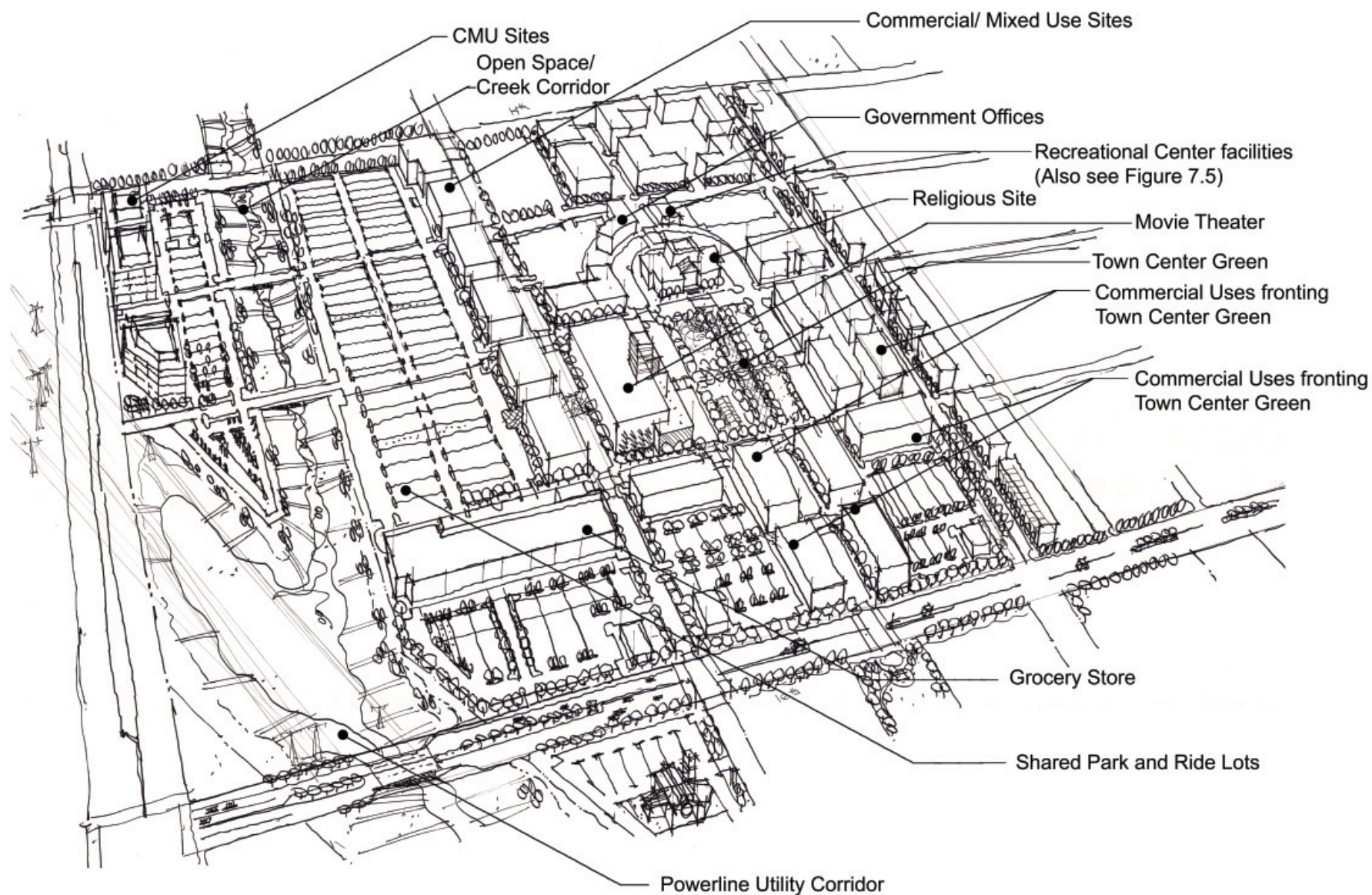
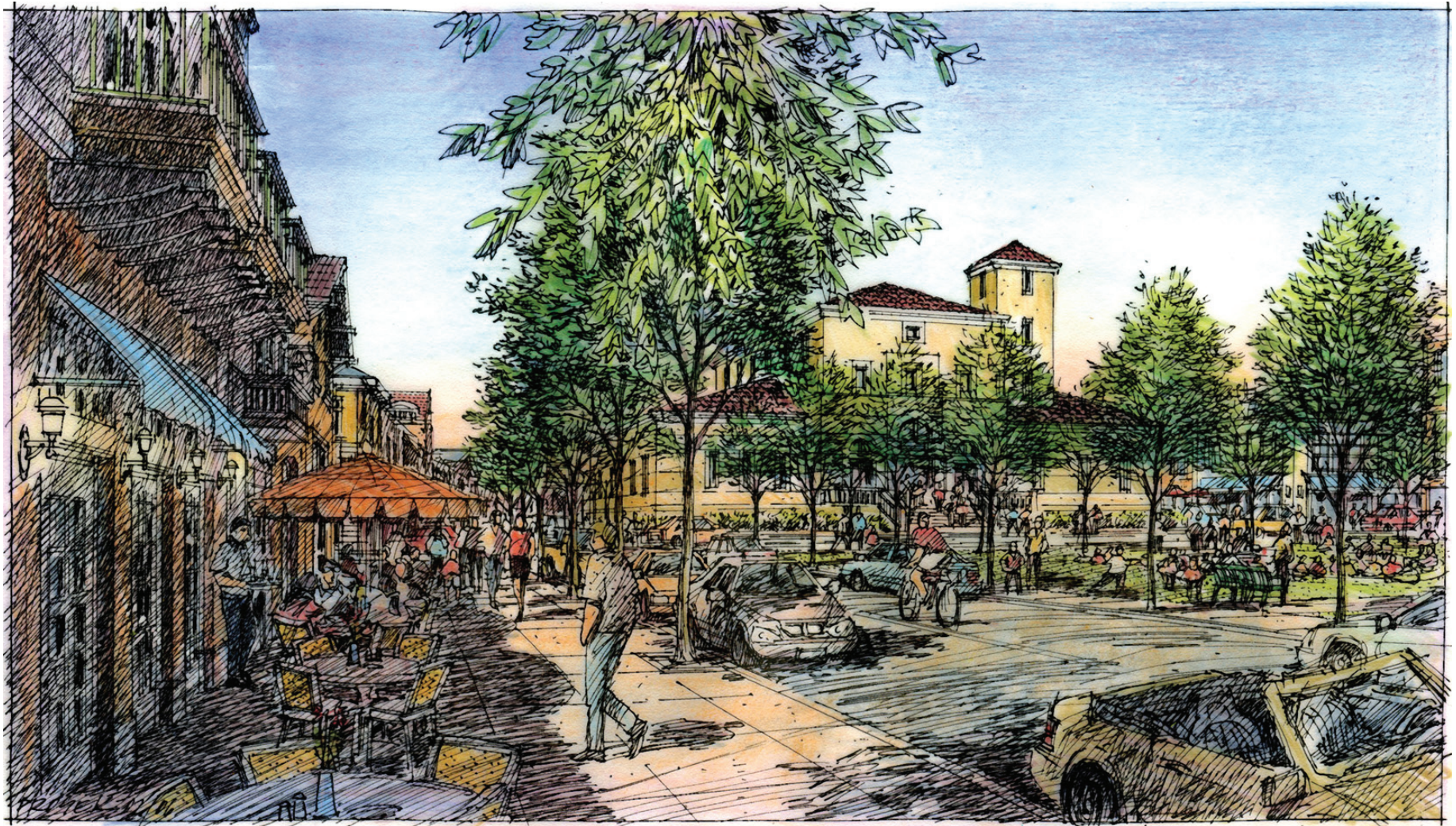


Figure 6.16 Town Center Perspective Sketch



6.3.3 VILLAGE CENTERS

Two mixed-use village centers are planned for Placer Vineyards. One village center is located on the east side of the Plan Area, along Watt Avenue. The second village center is located on the west side on Dyer Lane. These village centers are pedestrian-oriented, mixed-use activity nodes, providing retail sales and services to the immediate surrounding neighborhoods.

Village centers are intended to provide a unique, small cluster of activities, with offices and residential uses above ground-floor retail uses. Streets and pedestrian and bicycle paths connect to surrounding residential neighborhoods. Buildings are clustered around small neighborhood plazas, greens, or gathering places where local residents can meet for activities and events.

Policy 6.30 Village Centers.

Village centers are higher density centers surrounded by high-density residential neighborhoods and located within one-quarter mile walking distance of lower density residential neighborhoods. Two mixed-use, pedestrian-oriented Village Centers will be created in Placer Vineyards. The East Village Center is located at the intersection of Watt Avenue and Town Center Drive. The West Village Center is located at the intersection of West Dyer Lane and Town Center Drive.

Village Centers are intended to provide a mix of uses with office or residential uses either adjacent to or above ground-floor neighborhood-serving retail activities. Potential Village Center retail sales and services may include uses such as, but not limited to, delis, grocery stores and specialty food stores, drug stores, cafés and restaurants, bakeries and donut shops, laundry facilities, hair salons and barber shops, gas stations, video stores, and offices uses.

Village centers are encouraged to incorporate civic and public uses such as a public green or plaza, day care uses, religious facilities, a post office, transit stops, and other similar uses that support civic activity and community life.

Policy 6.31 Village Center Streetscape.

Walkways in the mixed-use village centers should be designed to create a pedestrian-friendly environment and urban in character. They should include the following features:

1. *Wide sidewalks designed to support the active pedestrian environment with adequate widths for strollers and wheelchairs to pass one another on the same walkway.*
2. *Curb ramps and design features to emphasize the pedestrian movement across traffic lanes at key intersections of thoroughfares, arterials, and collector streets.*

3. *Textured or colored pavement highlighted with clear white striping and bulb-outs or curb extensions at major crossings, used to improve the visibility and safety of pedestrians.*
4. *Attractive and consistent signage and pedestrian-scale lighting to create a sense of place and identity within Placer Vineyards.*
5. *Comfortable and coordinated street furniture.*

Policy 6.32 Transit Access

Village centers shall be transit-oriented activity nodes. Bus turnouts, shelters, and clear pedestrian paths from the street to the commercial centers, transit centers, parks, and other public facilities should be incorporated into the design of the village centers.

A. General Village Center Design Guidelines

The design guidelines for the Village Center are as follows:

Site Design Guidelines:

1. Village Centers are encouraged to provide higher intensity housing and commercial uses within a convenient walking distance (5 minute walking distance) of the center.
2. The Village Center should be organized to provide convenient walking connections from the surrounding neighborhoods.
3. The building and site design of the Village Center should create a pleasant and enjoyable place that makes walking attractive and preferable to use of the car. The pedestrian experience should include large-canopy street trees, landscaped spaces, and seating areas.
4. The street network should be interconnected with the surrounding neighborhood to encourage walking and cycling and distribute traffic to minimize volumes on local streets.
5. Streets with sidewalks and pedestrian paths should provide direct and convenient connections to the Village Center core.
6. Transit stops should be located in the core of the Village Center with shelters, seating and other pedestrian amenities all in close proximity to other Village Center uses.

COMMUNITY DESIGN

7. Parking for the village centers should be clustered in smaller parking courts behind buildings, away from the main public view, and should allow for shared use by all Village Center land uses and property owners.
8. For mixed-use projects, parking may be shared between uses, as defined in Policy 3.21.
9. Pedestrian amenities, landscaping, furniture, signs, and lighting should conform to a common landscape design theme to help provide a consistent village image and character. The theme should strive to create a consistent and pedestrian-scale treatment to buildings and the landscape without being overly historical in its approach, or relying on styles that may become outdated in the near future.

Building Design Guidelines:

1. Buildings should be clustered close to street sidewalks and provide multiple windows and entries on the ground floor to enliven places and increase safety and visual control of the street.
2. Building design within the Village Center should create one consistent theme or Village Center architectural character through the use of a similar family of building materials, building styles, design elements, and use of color and details.
3. Use of architectural elements that create a more active street-life and pedestrian scale at the street level are encouraged. Such elements include ground-floor commercial windows; entries; awnings, overhangs, and arcades; outdoor seating and eating areas, and sidewalk seating, street trees for shade; pedestrian-scale lighting; signage; public art; and other streetscape elements.

B. East Village Center

The East Village Center, located at the intersection of Watt Avenue and Town Center Drive, will feature a range of locally serving retail uses and services and include a transit center and fire station. The East Village Center is larger than the West Village Center and is intended to create a higher density, pedestrian- and transit-oriented, mixed-use node of activity.

A range of locally serving retail uses are encouraged in the East Village Center. Such use include, but are not limited to, neighborhood retail goods and services, restaurants and cafes, grocery stores, drugstores, delis and specialty food stores, hair salons and barber shops, laundry and dry cleaning services, video stores, hardware stores, wine stores, liquor stores, gas stations, bakeries, ice cream shops, shoe stops, appliance stores and repair shops, and other similar neighborhood-serving goods and services. In addition, the East Village Center provides opportunities for a range of small offices and professional services such as dentists and doctors, accounting and real estate offices, public and quasi-public uses, and facilities such as day care, religious facilities, and out door plaza, park, and gathering places.

The Transit Center provides a major bus stop and park-and-ride facilities for a bus transfer station and future bus rapid transit (BRT) service planned for Watt Avenue. It also provides connections to a streetcar system with services to the Town Center and to an internal bus system, that will provide links to the neighborhoods, major community facilities, schools, and the Town Center.

Direct pedestrian and bicycle access is provided from surrounding residential neighborhoods and along adjacent open space corridors.

Figure 6.17 East Village Center Site Diagram

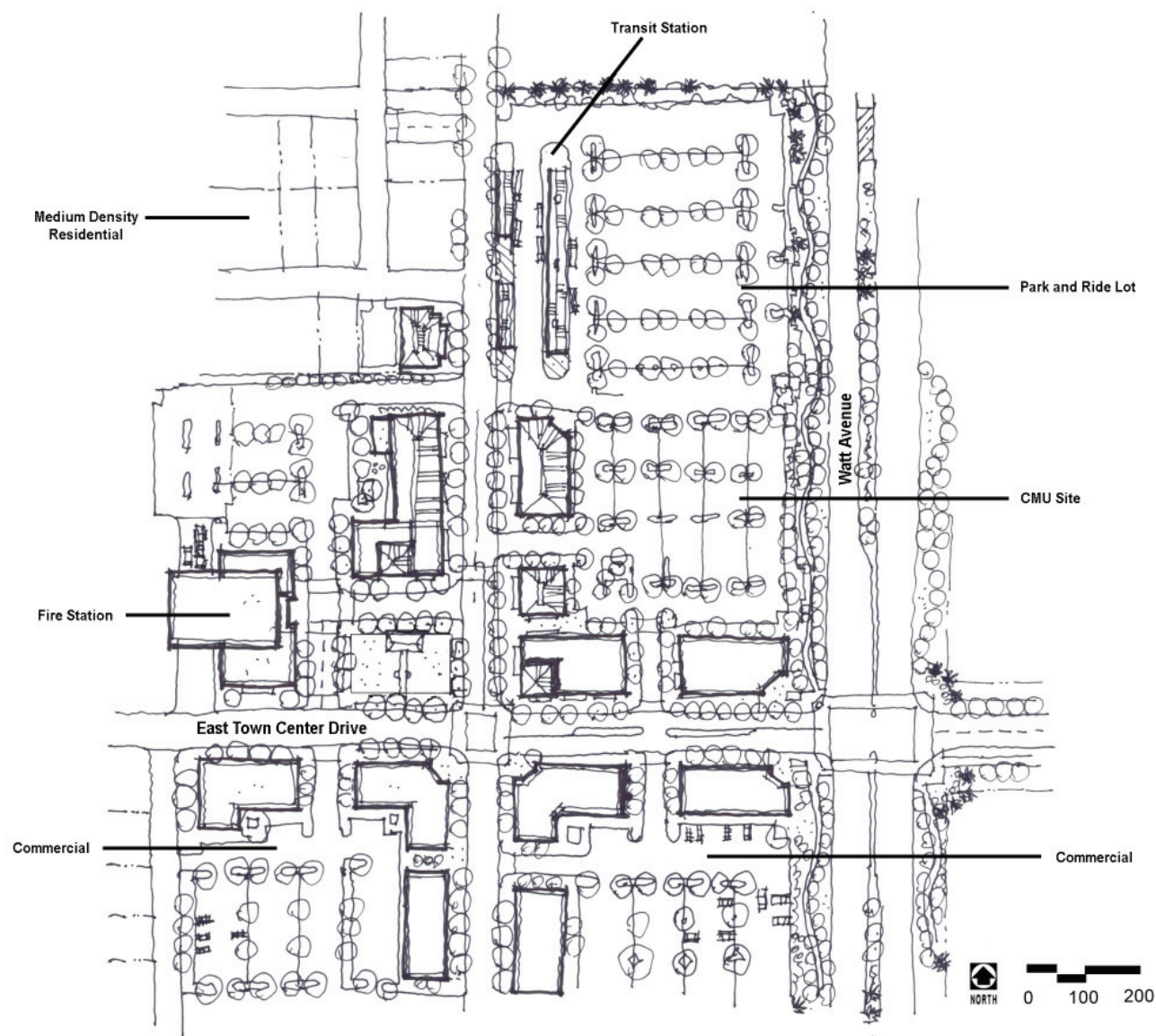


Figure 6.18 East Village Center Perspective Sketch



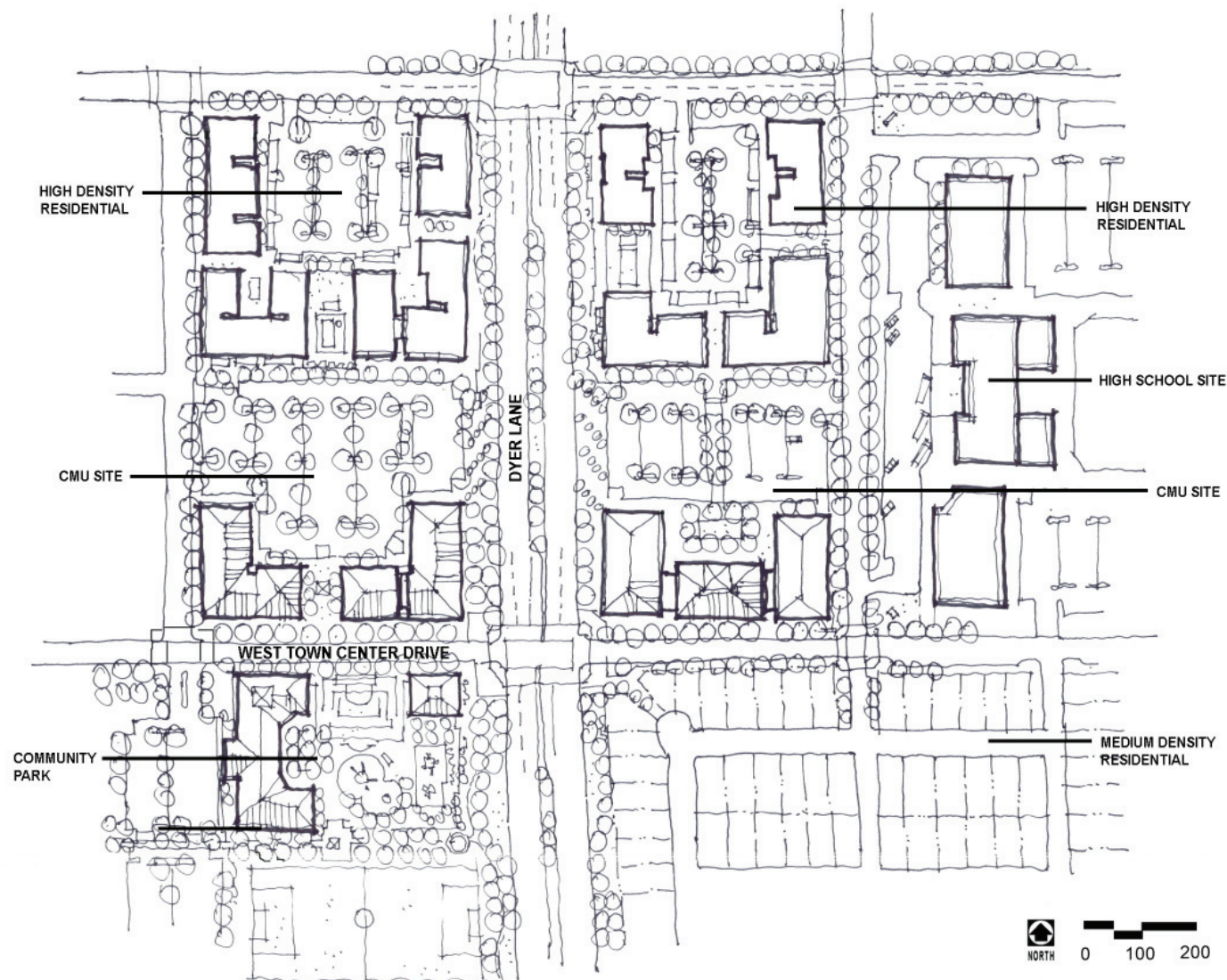
C. West Village Center

The West Village Center, located along Dyer Lane and Town Center Drive, provides a cluster of mixed-use commercial and higher intensity residential uses in the vicinity of surrounding residential neighborhoods and a range of public facilities, the new high school, and local religious facilities. The West Village Center also provides connections to open space corridors and roadways.

A range of locally serving retail uses are encouraged in the West Village Center. Such uses include but are not limited to restaurants and cafes, grocery stores, drug stores, delis and specialty food stores, hair salons and barber shops, laundry and dry cleaning services, video stores, hardware stores, wine stores, liquor stores, gas stations, bakeries, ice cream shops, shoe stops, appliance stores and repair shops, and other neighborhood serving goods and services. In addition, the West Village Center provides opportunities for a range of small offices and professional services such as dentists and doctors and accounting and real estate offices.

The West Village Center is designed as a pedestrian- and transit oriented (bus stop) mixed-use center with a diverse uses. It is designed with higher density residential uses or offices over ground-floor retail uses, located within a 5-minute walk (roughly one-quarter mile) from the surrounding neighborhoods.

Figure 6.19 West Village Center Site Diagram



6.3.4 BASELINE ROAD REGIONAL COMMERCIAL CORRIDOR

The Baseline Road Commercial Corridor is intended to provide services and promote a balance of employment in the region, as well as, generate revenue for the County. It includes business parks, offices, regional commercial centers, and a power center.

Goal 6.19 Provide attractive commercial development along Baseline Road that provides employment, attracts economic development, and is easily accessible to the community.

Goal 6.20 Allow a mix of uses along Baseline Road to encourage a diverse base of tenants and patrons.

Policy 6.33 Baseline Road Commercial Corridor.

The Baseline Road Commercial Corridor offers products, services, and employment catering to the broader Placer Vineyards region. It is guided by the following standards.

1. *The Baseline Road commercial corridor is designed to provide easy access and transportation connections to neighborhood areas.*
2. *Direct access connections shall be avoided from Baseline Road and shall, instead, be provided on A Street (see Chapter V, "Transportation and Circulation," for roadway design guidelines and access controls for Baseline Road).*

Policy 6.34 Commercial Center Design.

Commercial buildings located next to Baseline Road and a 50-foot landscape corridor shall provide buffers internally in the Plan Area to the noise and traffic generated on Baseline Road.

Policy 6.35 Location of the Power Center.

A Power Center will be strategically located in the Baseline Road commercial corridor at the southwest corner of Watt Avenue and Baseline Road to supply large-volume goods and services.

Design Guidelines for Regional Commercial Centers

The design guidelines for regional commercial centers include:

1. Encourage buildings to be clustered to allow for internal courtyards and landscaping that minimize the views of parking areas and allow separation of parking and vehicular traffic from the pedestrian experience. Place buildings in close proximity to high-use pedestrian and transit streets to shorten the distance between transit and building entrances.
2. Design for site accessibility.
 - a. Provide wide sidewalks and walkways from parking areas and transit stops.
 - b. Provide bicycle facilities, seating and other pedestrian amenities at a convenient location to building destinations.
 - c. Use textured, colored pavement and signage to delineate pedestrian areas and bike ways from vehicular areas.
 - d. Provide plenty of shade along sidewalks, commercial frontage and access routes through continuous canopies of shade trees, arcades and awnings.
3. Design commercial sidewalks at a comfortable width to allow for adequate pedestrian access and visibility between adjoining retail storefronts and outdoor activity.
 - a. Design sidewalks with appropriate and coordinated pedestrian furniture including seating, trash receptacles, pedestrian lighting, newspaper racks, bicycle parking areas, drinking fountains, and signs.
 - b. Establish a build-to-line but allow variations in the placement of buildings that front directly onto commercial sidewalks. This variation is intended to accommodate building entries or additional café seating, landscape courtyards, and plaza spaces that function as outdoor spaces and encourage pedestrian activity.
4. Give special design treatment to street corners which are the most visible areas of the site and natural focal points. Buildings are encouraged to be placed at street-corner intersections.

COMMUNITY DESIGN

5. Organize buildings on larger aggregated sites to avoid large parking areas that separate the pedestrians from their destinations.
 - a. On-street parking is encouraged within the parking lots of regional commercial sites or on side streets with no thru-traffic.
 - b. Shared parking is encouraged on multi-tenant sites.
 - c. Plant deciduous canopy trees in parking lots and provide shade along sidewalks.
6. Separate access for loading from the primary driveway access. Loading areas and trash containers are encouraged to be located behind buildings, to the sides of buildings, accessed by service alleys, or screened by walls and landscaping.

B. Neighborhood Commercial Centers

Neighborhood Commercial Centers are intended to provide a range of neighborhood-oriented retail services and products to the residential neighborhoods immediately surrounding them. These centers are sized to allow major tenants, such as supermarkets, drug stores, and hardware stores, as well as convenience service stations, fast-food restaurants, and support office uses including real estate, insurance and dental offices.

Generally sited on the corners of major arterial and collector intersections, neighborhood commercial centers are located near higher density residential uses, public/ quasi-public uses, and parks and open space.

More than just convenience retail centers, neighborhood commercial centers provide a local neighborhood focal points of activity for local neighborhoods. Designed to encourage pedestrian access, they serve as local gathering places that enable other forms of neighborhood activity and interaction to occur.

Goal 6.21 Provide local neighborhood services within the community designed to be easily accessible and pedestrian friendly.

Policy 6.36 Neighborhood Commercial Centers.

Neighborhood commercial centers are mixed-use core areas that provide local services and retail to serve the surrounding neighborhoods. These centers will provide for neighborhood commercial needs, offering professional services, public/ quasi-public facilities, high density residential uses, and easy access to transit services.

Policy 6.37 Pedestrian Access.

Neighborhood commercial centers shall be designed to encourage pedestrian access along the face of commercial buildings and along public sidewalks.

1. *Covered walkways and awnings should be provided along the fronts of major anchor stores and connect with other multi-tenant retail shops.*
2. *Bicycle and pedestrian trails should be provided to allow convenient access between neighborhood commercial centers and surrounding residential neighborhoods.*

Policy 6.38 Auto Access.

Auto access connections should be designed to slow and discourage cut-through traffic with the use of speed bumps, stop signs, or delineated pedestrian crossings and other features.

Policy 6.39 Transit Access.

Bus turnouts, shelters, and clear pedestrian paths from the street to the major commercial tenants should be incorporated into the design of neighborhood centers.

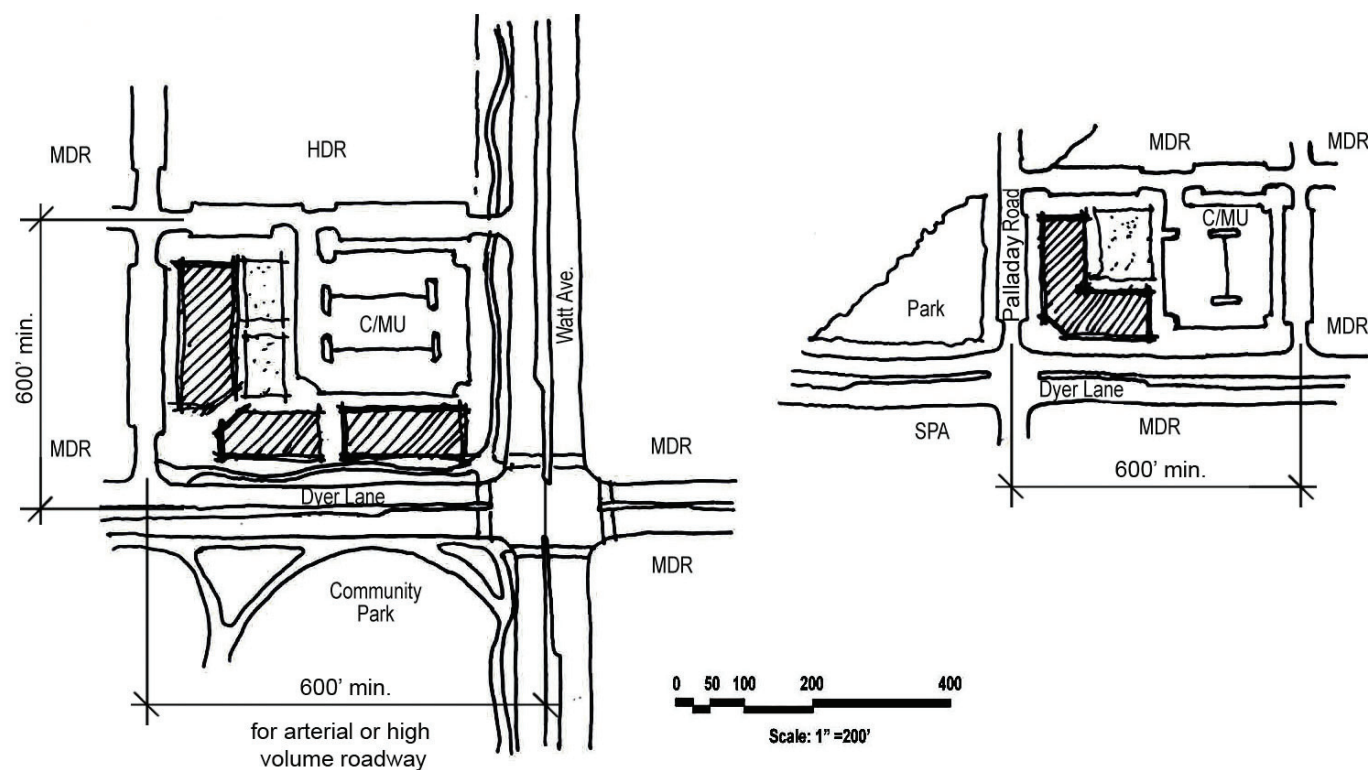
Design Guidelines for Neighborhood Commercial Centers

The design guidelines for neighborhood commercial centers include:

1. Buildings should be oriented towards and located next to pedestrian walkways and street edges. Parking should be placed behind or to the side of buildings to minimize their appearance.
2. Pedestrian-scale street lights shall be provided at appropriate spacings at street intersections, within parking lots, and along pedestrian alleyways, and walkways. Street lights should be equipped with standards for hanging decorative banners, flags, and flower baskets. The maximum height for street lighting shall be 14 feet.
3. For mixed-use sites, parking may be shared between uses as defined in Policy 3.21.
4. Loading access should be separated from the primary driveway access. Loading areas and trash containers should be located behind buildings, to the sides of buildings, accessed by service alleys, or screened by walls and landscaping.

Figure 6.20 Conceptual Access Diagram into Neighborhood Commercial Sites

The following diagrams address recommended access into commercial/ mixed-use sites for two test sites in the Plan Area. Access into commercial sites should be avoided on arterial and major roadways and should instead be provided from secondary streets. The recommended minimum spacing from an intersection to a development driveway encroachment onto a major arterial or collector road is 600 feet. Minimum distances onto a local collector or low-volume road segments can be 300 feet.



6.4 NEIGHBORHOOD DESIGN

Placer Vineyards is organized as an assembly of neighborhoods each designed with distinct site attributes and anchored with community-serving amenities that are connected through a system of roadways and greenways. The following design guidelines are intended to promote quality design and a cohesive residential environment for a wide array of single-family (detached and attached) and multi-family housing types and provide guidance for the siting of homes in relationship to the street, to open space, and to the design of buildings in a neighborhood. This section should be used in conjunction with the residential land use and development standards in Appendix A of the document.

Goal 6.22 Create distinct districts and neighborhoods that help define a sense of place and character within the larger Placer Vineyards community.

Goal 6.23 Design new development that is attractive and functional and that adds to the creation of a sense of place for the Placer Vineyards community.

Policy 6.40 *Residential Neighborhood Site Design.*

Residential neighborhood site design should provide opportunities for pedestrian and bicycle connections to core areas and other neighborhoods. Residential developments should be compatible with and be incorporated into the broader community and should avoid sound walls, when possible, or layouts and designs that insulate or separate the development.

6.4.1 GENERAL LOT DESIGN

Goal 6.24 Promote lot design and development standards that provide for the orderly organization of each development but allow flexibility to accommodate a wide range of land use types, housing types, styles, and design solutions that respond to the unique site characteristics of Placer Vineyards.

Goal 6.25 Encourage new, creative, and imaginative site design solutions that provide a variety of solutions to land use types throughout Placer Vineyards.

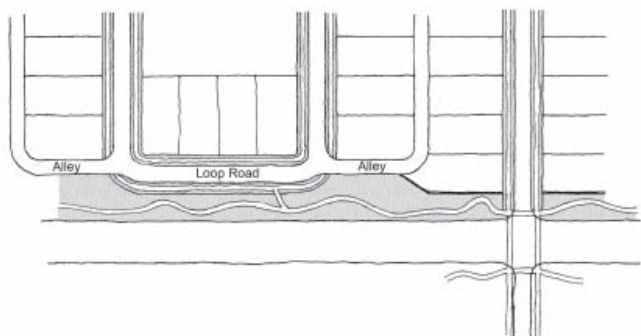
Policy 6.41 *Lot and Development Standards.*

All development in Placer Vineyards shall comply with the intensities found in Table 3.3 in Chapter III, "Land Use," and in Appendix A, "Land Use and Development Standards."

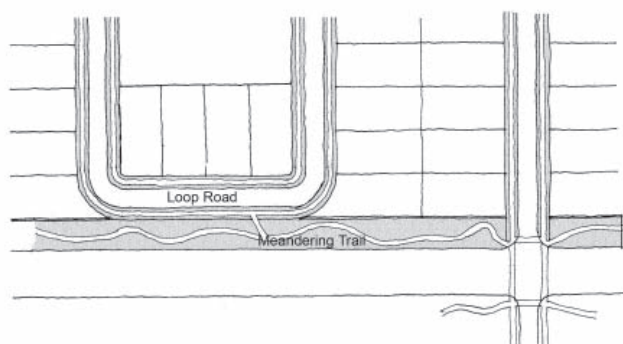
Design Guidelines for Residential Lotting Adjacent to Major Roadways

Residential lotting adjacent to major roadways should minimize the need for continuous sound walls through the use of a variety of road and lot configurations. Possible alternative lotting and road configurations are provided in the Figure 6.21.

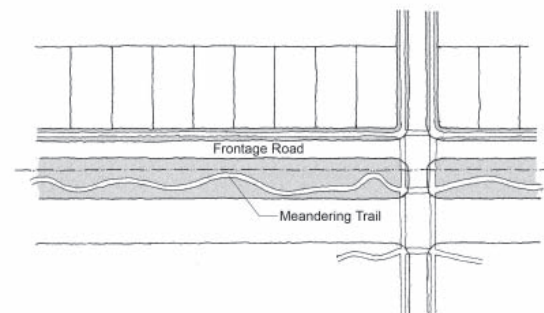
Figure 6.21 Lotting Conditions Adjacent to Major Roadways



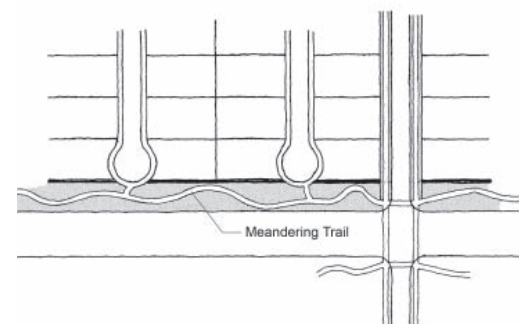
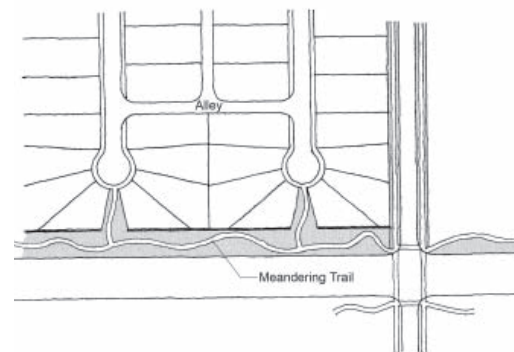
Plan A: Lots Fronting on Loop Road with Alley Access



Plan B: Lots Fronting on Loop Road



Plan C: Lots on Frontage Road



Plan D: Open Ended Cul-de-Sac Options

6.4.2 RESIDENTIAL DESIGN

The Placer Vineyards Plan is based on the concept of interconnected residential, commercial and open space areas. The size and location of collector streets are also based on this concept and should also be carried down to the neighborhood scale. Toward this end result, neighborhood residential policies encourage connections to collector streets between the properties of different parcels and between phases of the same parcel. This concept of interconnections is represented in Figures 6.22, 6.23 and 6.24.

Goal 6.26 Develop residential areas as open and linked neighborhoods that encourage alternative modes of transportation- walking, biking, and transit use- with a school or neighborhood park located within easy walking distance of the surrounding community as the focal point.

Goal 6.27 Create an interconnected community that increases the opportunity for pedestrians to make shortcuts by providing points of access from residential neighborhoods.

Policy 6.42 Residential Neighborhood Site Design.

Residential neighborhood design layouts should be designed consistent with the following standards and guidelines.

1. *Roadways should link adjoining neighborhoods as an interconnected network to provide easy access to and between neighborhoods, schools, neighborhood parks, and open spaces. Neighborhood layouts should provide multiple access points, thereby maximizing the number of streets that carry traffic into each residential area, and distributing traffic loads.*
2. *Residential neighborhoods and associated landscape plans should be organized to create a feature or place that makes the neighborhood unique or distinct. This center may include neighborhood parks, open space and creek corridors, or school sites.*
3. *These elements should be integral to each neighborhood and should be easily accessible from the surrounding residences.*
4. *Religious sites should be located on the periphery of residential neighborhoods along community collector streets or arterial roadways.*
5. *Residential streets should be organized to slow traffic and create a more pedestrian-friendly and safe environment through the selective use of roundabouts, bulb-outs, median plantings, cul-de-sacs, special paving and other site or architectural design features.*
6. *Neighborhoods adjacent to parks, open spaces, and creek corridors should be oriented to visually and physically incorporate the creekside open spaces with links to neighborhood parks, school sites, and the pedestrian trail system. Neighborhood layouts should ensure that open spaces and creeks are visible and accessible from public areas, streets, and trails. In these situations, single-loaded streets are encouraged. Lot and residential building layouts should face onto open spaces wherever possible to provide visual surveillance and security to open space areas.*
8. *Residential site designs should ensure outdoor activity areas shall not exceed the County noise standards. Designs shall, however, minimize the need for sound walls adjacent to collector streets within Placer Vineyards by utilizing the planning techniques defined in Policy 6.48 through 6.50 and as illustrated in Figures 6.21, 6.23, 6.24, 6.27 and 6.28.*
9. *Pedestrian and emergency access should be provided from neighborhoods adjacent to open space and creek corridors.*
 - a. *Access can be provided by local, single-loaded streets parallel to open space and creek corridors.*
 - b. *Access should also be provided from open-ended cul-de-sacs, stub streets, loop streets or pedestrian easements between lots.*
 - c. *Pedestrian access points along open spaces should be no more than 600 feet apart.*
 - d. *Use of narrow pedestrian connections between lots should be minimized and used only where site constraints preclude access directly from abutting streets.*
 - e. *Where used, pedestrian access easements should provide functional, safe connections and be a minimum of 20 feet in width. Portions of pedestrian access easements may be wider in portions while still providing visual surveillance from the abutting streets.*
 - f. *Housing units adjoining access easements should orient homes toward, and be designed to provide visual surveillance of, the pedestrian path from major living areas of the unit, major entries, and/or windows.*
10. *All neighborhood site layouts should provide a minimum of two access points on local neighborhood collectors.*
11. *Neighborhoods should have a mix of one- and two-story homes.*

Figure 6.22 Conceptual Residential Interconnections Diagram



Figure 6.23 Residential Site Design Example- DISCOURAGED



Figure 6.24 Residential Site Design Example- ENCOURAGED



Design Guidelines for Residential Buildings

Goal 6.28 Provide a diversity of neighborhood streetscapes and architectural designs. Variety in design character helps to reduce the visual repetitiveness of neighborhoods and contributes to a sense of scale that relates to the street and deemphasizes the automobile as the dominant visual component in the physical landscape.

Residential building design should provide a mix of facades and floor plans along the same street to avoid repetition or monotony. A variety of design techniques may be used to create variety and visual interest along the street, including the following:

1. A mix of floor plans, elevations, building styles, and setbacks is encouraged to provide variety in the appearance of the street. Variations may include a mix of building styles, small thematic areas within a larger development area that exhibit a common style or identity. Houses of identical elevation should not face one another across the street, nor should they be located next to each other on the same street.
2. Front elevations of residential units should be designed to emphasize entries, porches, and windows into living areas and deemphasize garages.
3. The building facades in each neighborhood should provide for a variety of styles, materials, colors, and details with some elements that create continuity between units.
4. Large wall surface areas on building facades should be varied through the use of offsets, overhangs, recesses, balconies, or other architectural elements to provide visual relief and interest. Design attention should also be given to side and rear building facades visible from arterial streets, parks, or other public use areas.

Design Guidelines for Entries and Porches

Residential building design should emphasize building entries and porches oriented to the street, providing visual surveillance of the public realm.

1. Entries to residences should be located on the front façade and articulated with special architectural elements such as a deep-set roof overhang, trellis, porch, an offset entry stoop, entry garden/courtyard, or entry portal.

2. All front porches should have a minimum depth of six (6) feet (measured from the house to the center of the support columns), large enough to be functional as outdoor seating areas.

Design Guidelines for Roofs

Residential neighborhoods and building designs should incorporate a variety of roof forms and treatments to create visual interest. Roof forms, materials and colors are a major visual element in establishing the style, character and appearance of residential neighborhoods. Roofing materials used should reflect the style and overall character of the building and shall be compatible with adjacent neighborhoods. Colors should be used to bring together materials from the site or in the architecture of the building. Use of colors to differentiate between buildings or tenants within larger multi-family complexes or residential developments is encouraged.

Careful consideration and the following standards have been set to avoid the monotonous, repetitive or massive views of roofs from off-site locations.

1. A variety of roof forms should be provided for each floor plan within a neighborhood, compatible with the architectural style of each building.
2. Roof pitches may vary within each neighborhood or project area.
3. Simple roof forms that cover the majority of the main body of the house are preferred. However, roof form should be articulated through the use of gables, hips, dormers, clerestories, offsetting ridgelines, or other architectural features to reduce the appearance of one large unarticulated building mass.
4. Where possible, roof designs should provide large eaves or overhangs to reduce the visual scale of the building, provide shadow lines and shading to windows reducing heat loads to the building interiors.
5. All rooftop equipment should be concealed or integrated into the design of the roof.
6. Mechanical equipment shall be screened from public view.
7. Equipment shall be located within an enclosure or screened to minimize noise and visual blight to surrounding area and or public streets.

8. Roof vents should be grouped and located to the rear of the ridgeline, away from the public streets, public parks and major pedestrian areas to the greatest extent possible.
9. Roof top screening should be designed as an integral part of the building style and roof type.
10. Active and passive solar systems are encouraged to be integrated into rooftops and building orientation.

Design Guidelines for Garages and Driveways

A variety of garage placements and driveway configurations are encouraged in residential neighborhoods to reduce the visual scale and dominance of cars and garages along the street. See Figure 6.25 for examples of garage and driveway configurations.

Garages:

The following are guidelines for locating garages (refer also to Appendix A, “Land Use and Development Standards,” for design standards for garages.):

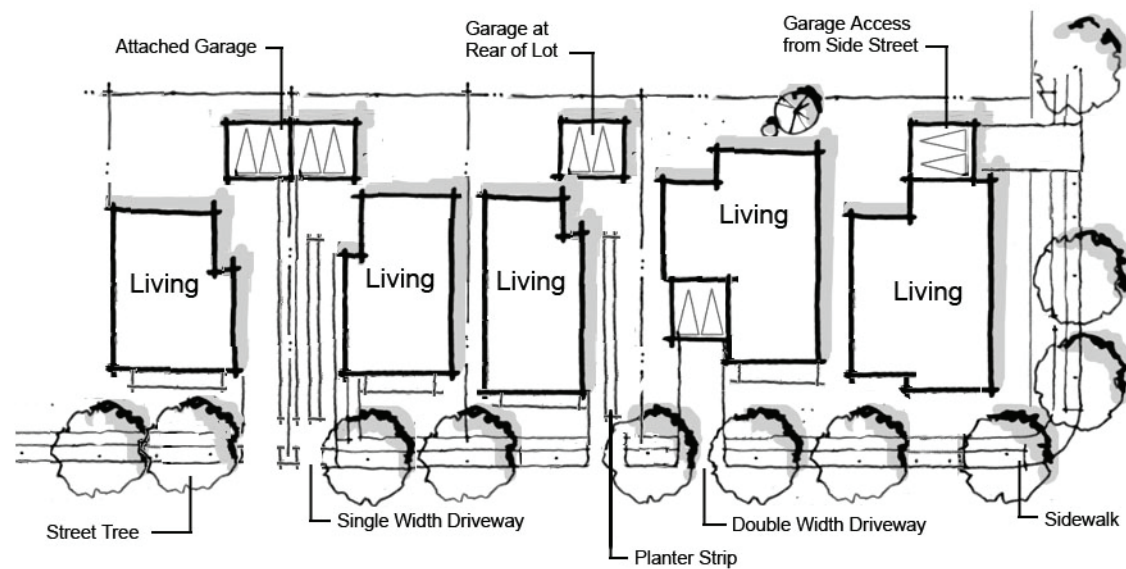
1. Homes with side-loaded garages may be set forward of the front façade of the living area, provided the garage side on the street is set back consistent with the minimum front setback for that area.
2. Garages served by an alley may be attached.
3. Homes on corner lots should provide driveways from the side street when feasible, as shown in Figure 6.25. Facades of buildings with side-entry garages should be designed with windows, overhangs, arbors, entryways, or other design elements to avoid continuous blank walls on the facades of side facing garages.
4. Single-width garage doors are encouraged especially for two-car garages.
5. Location of detached garages in the rear half of the lot are encouraged.

Driveways:

The following guidelines are recommended for the design of driveways (refer also to Appendix A: “Land Use and Development Standards,” for design standards for driveways.):

1. Direct driveway access to individual residential units from a four-lane or six-lane arterial street is prohibited.
2. Use of planter strips or special paving is encouraged for driveways.
3. Driveways with parking on the driveway shall conform to the minimum aisle widths and parking stall depths for parking lots (see Figure 6.25).

Figure 6.25 Driveway and Garage Configurations



6.4.3 WALLS, FENCES AND SCREENING

Walls and fences throughout Placer Vineyards and on property lines provide for privacy security and sound attenuation, and can help to shape individual homes and neighborhoods. Walls and fences influence the character of neighborhoods and they can reduce connectivity by creating physical and visual barriers between neighborhoods. This section includes a variety of techniques and standards that must be used to satisfy the above goals. These require that sound walls be used only when absolutely necessary.

The policies of the Placer County General Plan encourage the use of setbacks, building orientation, noise barriers and other alternatives as noise mitigation in lieu of sound walls. In the event that sound attenuation is required, the techniques and standards specify that all available planning tools and design strategies be used to avoid the use of sound walls to meet noise level standards. Refer also to the noise standards in Chapter IV, “Environmental Resources.”

The design intent of this Specific Plan is to limit the use of sound walls along arterial and collector roads. To mitigate traffic noise and the possible negative visual impacts of continuous sound or privacy walls, a variety of design treatments and land use relationships are recommended. These design treatments include:

- ◆ Landscape setbacks
- ◆ Land use patterns planned to be compatible to the scale of roadways
- ◆ The arrangement of lots and streets, including frontage or loop streets and open ended cul-de-sacs to provide an additional setback or interrupt the continuous wall
- ◆ Consistent wall design with interruptions to wall massing for pedestrian openings/connections and wall offsets with optional trellises and privacy gates
- ◆ Landscape treatment, such as earth berms, to buffer pedestrian paths and soften or minimize the presence of the wall

See Figure 6.29 for examples of recommended wall, landscape, and streetscape design treatments for the different edge conditions that occur in the Plan Area.

Goal 6.29 Design communities to provide increased visual surveillance of all parks, open space, and pedestrian ways.

Goal 6.30 Encourage open communities. Limit the use of sound walls and fences that can separate neighborhoods.

Goal 6.31 Implement measures to reduce traffic noise on-site to acceptable levels along major thoroughfare and arterial routes (Watt Avenue, Baseline Road, Dyer Lane) and the major collector roadways with general outdoor noise levels in excess of 60 dB DNL, where such routes and roadways are adjacent to low- and medium-density residential development.

Policy 6.43 *Attenuating Noise at Low- and Medium-Density Residential Areas Along Major Roadways.*

The following shall establish the primary and secondary means for achieving acceptable sound levels along streets that will carry varying levels of traffic. See Policy 6.44 for a description of the means of implementing these techniques.

1. **Thoroughfares and Arterials.** *Watt Avenue and Dyer Lane will carry the highest level of traffic within the community. Residential uses along these streets will be protected from sound levels in excess of the 60 dB DNL standard by the use of sound walls and landscape berms. Open ended cul-de-sacs (see Figure 6.21, Plan D) shall be used to minimize the unbroken length of the sound walls. On Dyer Lane west of Palladay Road and on 16th Street, north of Dyer Lane, where traffic volumes will be lower, design features described as appropriate for collector streets shall be implemented, if approved by the County.*
2. **Collector Streets.** *Many of the collector streets within the community will carry traffic volumes likely to generate noise levels requiring strategic site planning to accommodate noise impacts. Figures 6.23 and 6.24 present examples of designs for neighborhood subdivisions. The designs in these figures are discouraged and encouraged, respectively, when considering the goal of providing residential interconnections on collector and residential streets, where the use of sound walls is discouraged. Appropriate design techniques include open-ended cul-de-sacs (Figure 6.21, Plan D), front-facing development, frontage streets, and loop streets (Figure 6.21 Plans A, B and C). Figure 6.27 shows a typical street design plan designed in accordance with these standards which minimizes the impact of sound walls.*

Policy 6.44 *Edge Treatments for Use at Low- and Medium- Density Residential Areas.*

The use of sound walls shall be considered only in conjunction with a minimum of one of the other practical design-related noise mitigation measures described below. Access through sound walls should be provided according to the guidelines listed below so long as it does not introduce noise levels into neighborhoods that exceed County noise ordinance standards. Conceptual designs for a typical residential layout and neighborhood entry along a collector street are shown in Figure 6.27.

1. **Sound Attenuation on Collector Roadways.** *The preferred treatment to accommodate noise levels on collector streets will be the use of landscape setbacks and rear-loaded homes fronting onto the street that have rear-yard fences and buildings that act as sound barriers. Refer to Figure 6.28 for recommended sound attenuation design treatments on collector roadways. The following types of housing can be designed for acceptable noise levels while fronting on these streets: townhomes, mansion homes or multiunit complexes (multiunit buildings that have the appearance of a single home from the street), and small lot motor court and large lot, rear-loaded single-family homes. (Refer also to Appendix A: "Land Use and Development Standards," for examples of these housing types).*

Sound walls on collector streets, should be avoided, however, if they are required as determined by the County, they shall not extend more than 300 feet along these streets without being broken by the use of an open-ended cul-de-sac, a section of fronting streets, or homes facing onto the street (see Figure 6.27).

2. **Sound Walls.** *Sound walls that may be required along Watt Avenue and high traffic sections of Dyer Lane, 16th Street and A Street shall generally not exceed 600 feet. The preferred noise attenuation treatment should consist of relatively short lengths of sound wall, interrupted by street intersections, open-ended cul-de-sacs, use of landscaped berms with lower built in wall or fences, pedestrian easements and wall offsets with optional private entry gates to yards (see discussion of these features below). Sound walls shall be designed such that the entire length of a street will have a consistent appearance.*

For conditions where a sound wall is required, the height of sound walls shall be no more than six (6) feet measured from the adjoining finished grade of the street side of the wall or fence and no more than eight feet from the finished grade on the residential side of the wall or fence. When changes in elevation occur linearly along the wall or fence, the structure should be stepped in equal vertical increments. No step should exceed eighteen (18) inches in height. The preferred sound wall design shall be split face concrete masonry with frequent pilasters. Trees, shrubs, and vines shall be planted throughout the length of the sound wall.

3. **Frontage and Loop Streets.** *Frontage and loop streets allow residential development to face the arterial street without the need for a wall or fence along the street. The right-of-way for the frontage or loop street may be reduced in width and the sidewalk on the opposite side of the residences may be eliminated. See Figure 6.21, Plans A, B and C.*

4. **Open Ended Cul-de-Sacs.** *Open ended cul-de-sacs that end at collector streets are intended to reduce the length of privacy walls and fences facing onto the arterial streets and provide pedestrian and bicycle access to the roadways. See Figure 6.21, Plan D.*
5. **Large Lots.** *Large lots with single-family homes or multiple dwellings are typically accessed from intersecting side streets or from the rear with the primary entries facing the street. Sound or privacy walls and fences in front yards are allowed only as specifically approved by the County*
6. **Landscaped Setbacks and Buffers.** *Use of additional landscaped setback buffer areas can be used between residential areas and streets. In this condition, local streets, loop streets, or frontage roads face onto a landscape buffer. Privacy walls or fences are not allowed in front yards of adjacent residential lots. The landscape buffer may incorporate earth berms or mounding, trees, shrubs, and other screening vegetation. Local streets adjacent to the landscaped buffer may be reduced in width and the sidewalk may be eliminated from one side.*
7. **Landscaped Berms.** *Landscaped berms shall be designed not to exceed a maximum 3:1 slope.*

Policy 6.45 Edge Treatments at Other Areas Along Major Roadways.

1. **Compatible Land Uses.** *All parks, houses of worship and other noise sensitive uses shall be protected from exposure to noise levels in excess of 60 dB DNL. See noise policies of Chapter IV: Environmental Resources. Commercial, office, public and other non-residential uses are planned along the major arterial thoroughfares, Baseline Road and Watt Avenue. These non-residential uses will not require the use of sound walls along the street. A variety of landscaping, berming, or other screening techniques should be used to screen parking lots from pedestrian sidewalks.*
2. **Front-Facing Development.** *Buildings facing onto the street is the preferred treatment in the Town Center, high density residential developments throughout the Plan and along other collector streets. Vehicular access is generally from the rear. High-density projects should be designed such that active outdoor spaces are shielded from noise impacts by buildings or parking areas between the street and buildings. All residential uses exposed to a DNL in excess of 60 dB DNL will require sound-rated windows, added wall insulation, and mechanical ventilation capable of achieving the indoor noise requirements of 45 dB DNL. The applicant may be required to prepare a study demonstrating how these standards shall be met.*

Policy 6.46 Edge Treatment at Corner Lots on Neighborhood Streets.

This side-yard treatment occurs in conjunction with intersecting side streets, open-ended cul-de-sacs, or loop streets. Privacy walls and fences may be used for side yard conditions. To the extent possible, privacy walls and fences on side yards should not overlap the house façade and should not extend into the front yard setback. Buildings on corners should provide windows and entries that orient toward the street corners. This treatment does not apply to rear loaded lot conditions.

Policy 6.47 Single Loaded Streets Fronting Open Spaces and Parks.

This condition occurs when local streets, loop streets, or frontage roads are facing onto an open space corridor or park adjacent to the arterial roadway (see Figure 7.9). The additional open space setback provides a buffer between the residential units and the arterial street. Privacy walls or fences are not allowed in the front yards. Low fences or view fences are preferred (see Policies 6.50 and 6.51).

Policy 6.48 Variation in Edge Treatments.

Variations in the recommended edge treatments identified above will be allowed as determined by Placer County if one or more of the following conditions apply:

1. *The treatment fails to provide adequate noise protection.*
2. *The proposed development provides an alternative treatment that meets the goal and intent of the edge treatment policies of this Specific Plan.*

Policy 6.49 Gates in Sound Walls for Pedestrian Access.

Gates in walls and fences are intended to provide direct access from individual residences or public pass-throughs to multiuse paths and sidewalks along arterial and collector streets. The provision of such gates can create pedestrian-scale elements that break the length of the wall and add interest to the streetscape.

1. *Where possible, offsets in walls can accommodate private gates that serve two residential lots.*
2. *Gates may vary in design, but should provide additional architectural detail and articulation to the wall surface such as use of pilasters, special gate designs, trellises, arbors, or other design elements to add variety and interest to the streetscape. Access from the gate to the adjoining sidewalk must be of the same grade and material used in the sidewalk.*

Policy 6.50 Lot and Yard Privacy Fences/ Walls.

Privacy fences and walls also occur along lot lines between individual lots and structures. Generally privacy fences and walls between lots are placed on the lot line and should not be visible from major public streets or public use areas. Privacy fences shall be subject to the following design guidelines.

1. *A solid “good neighbor” fence or wall should be used for privacy or security and may occur in either side- or rear- yard conditions.*
2. *Fencing shall be limited to six (6) feet in height measured from the finished grade on either side of the fence.*
3. *Design of private fences shall be compatible with the building architecture, and should be consistent within each residential neighborhood or development phase.*
4. *Fences or walls shall be constructed of durable materials, and shall present a finished appearance from both properties.*
5. *For corner lots, street side fencing shall not overlap with the front façade of the building. Fences or walls that connect two separate units and are visible from the public streets and public use areas should be of the same materials and color, and should be compatible with the building architecture.*
6. *The visual prominence of walls and fences should be reduced through the use of landscape screening, trees, vines, shrubs and hedge plants.*
7. *Front yard fencing shall be limited to 30 inches in height or less and may be located within the front yard setback areas.*
8. *Front, side and rear yard fences may consist of wood picket fencing, wood rail fencing, decorative iron fencing or split rail fencing in keeping with the historic rural character of Placer Vineyards.*
9. *Wall or fences along Rural Residential and Agricultural areas adjacent to Placer Vineyards should incorporate fencing designs characteristic of rural, agricultural fencing types to provide a transition into the SPA area. Use of wood rail fences, split rail fences, wire fencing, rock walls, or wrought iron or picket fences is preferred. Where possible, view fences should be used (see Policy 6.52).*

Figure 6.27 Sound Wall Condition at a Typical Neighborhood Entry

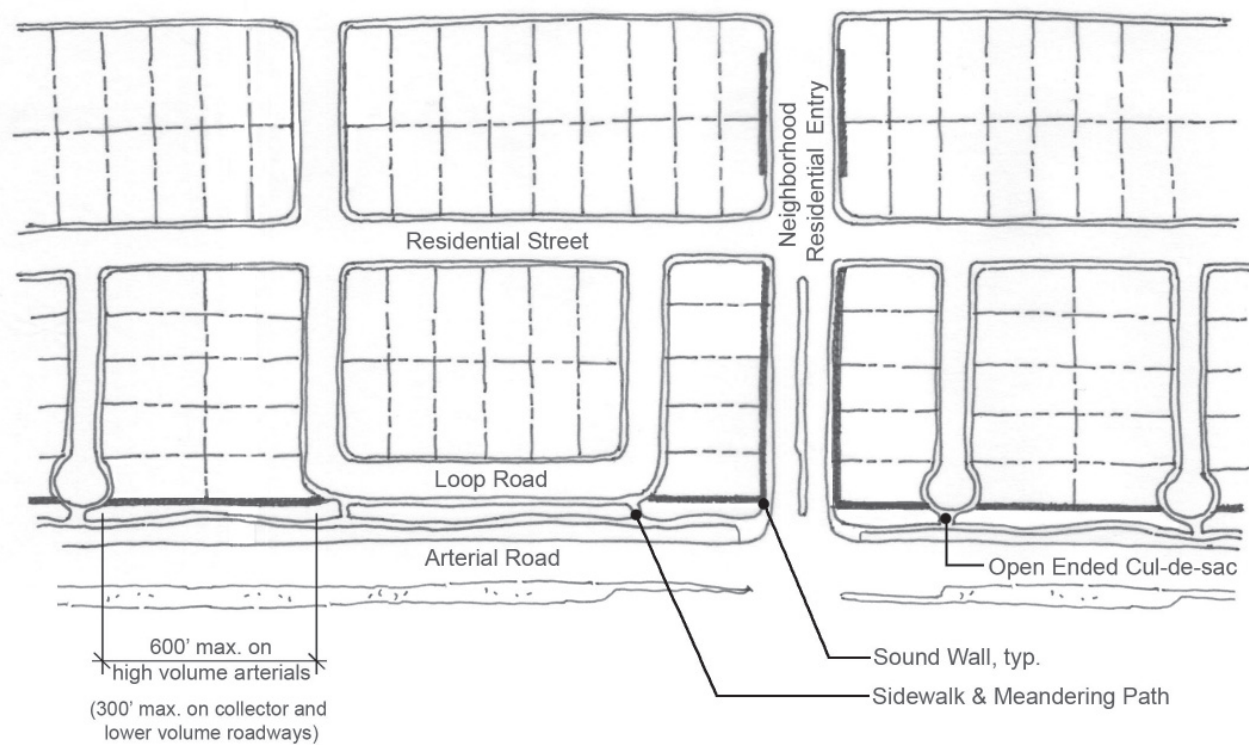
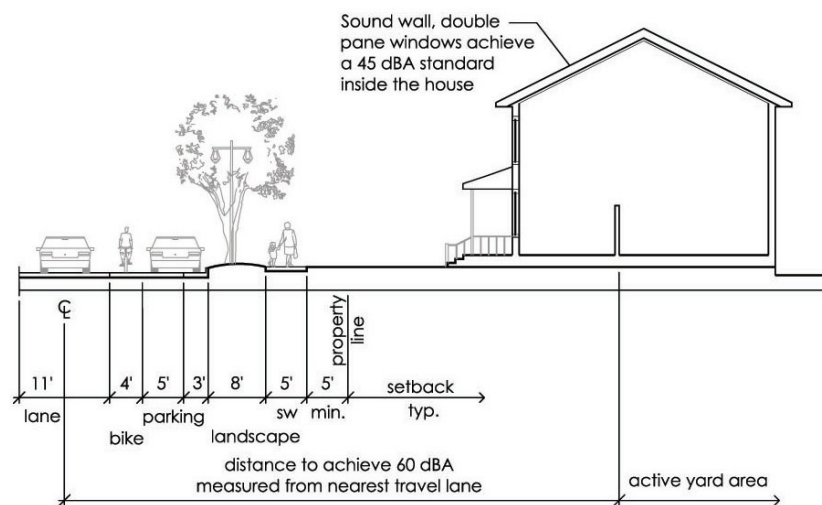


Figure 6.28 Sound Attenuation on Collector Streets



Policy 6.51 View Fences.

View fences are intended to provide privacy separation yet allow for views into and added visual surveillance of adjoining open space, parks, and public use areas from adjoining private lots and buildings. View fences may consist of wood or steel posts with wood pickets, wood rails, or decorative wrought iron. View fences are subject to the following policies and design guidelines:

- 1. View fences should be located where residential uses abut open space areas and creek corridors, or adjacent to rural residential and agricultural lots.*
- 2. View fencing is limited to a maximum of six (6) feet in height.*
- 3. Chain link fencing, barbed wire fencing, or razor wire is prohibited on residential properties.*
- 4. View fences may use solid materials (stone, decorative concrete, wood, etc.) for the first 4 feet in height with the use of more opaque or see-through materials to the maximum height of 6 feet. See-through materials may include lattice, wrought iron, pickets, or wire mesh.*

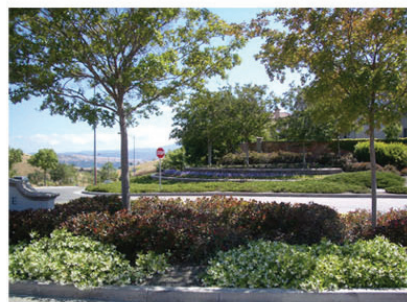
Policy 6.52 Security Fences.

Security fences are restricted to be used only to enclose large facilities in the Plan Area, such as the power substation and corporate yard. The use of wrought iron is encouraged. Chain link fencing with wood slats may be used for security fencing in these conditions. Use of barbed wire or razor wire at the top of security fencing is not allowed.

Figure 6.29 Wall and Fencing Design Examples



VIEW FENCE EXAMPLES



EDGE TREATMENTS
ALONG MAJOR ROADWAYS



LOT & YARD PRIVACY FENCES



EDGE TREATMENTS ALONG BUFFERS



CHAPTER VII: PARKS AND OPEN SPACE



7.1 PARKS AND OPEN SPACE CONCEPTS

Context

This section provides an overview of the parks and open space system designed for Placer Vineyards. The intent of this Specific Plan is to ensure the timely implementation of parks and open space facilities concurrent with the development of the Plan Area.

The parks and open space system for Placer Vineyards consists of the active parks, recreation facilities, passive open space recreation areas, street landscape corridors, and open space buffer areas. This chapter should be used in consultation with the design standards for trails found in Chapter V, “Transportation and Circulation,” and with the landscape and streetscape design guidelines in Chapter VI, “Community Design.”

The County General Plan requires new development to provide a minimum of 5 acres of improved parkland and 5 acres of passive recreation area or open space for every 1,000 new residents. Based on a projected population in the Plan Area of 32,854 people, approximately 164 acres of improved parkland and 164 acres of passive recreation area must be provided in the Placer Vineyards community, for a total of 328 acres. A total of more than 930 acres of parks and open space are provided in the Plan Area. Figure 7.1 shows the location of parks, open space, and landscape buffer areas for the Plan Area. Table 3-3 identifies the park and open space requirements for each property within the Plan Area.

7.2 PARKS

The park system proposed for Placer Vineyards will incorporate 217 acres of public and private parks (with 206 acres counted toward satisfying Placer County General Plan park requirements). See Figure 7.1 for the types, general location, and size of parks. Refer also to Table 7-1 for a summary of parkland facilities required by the Placer County General Plan.

Goal 7.1 Satisfy the Placer County General Plan requirement to provide a minimum of 5 acres of active or improved parkland and 5 acres of passive recreation area or open space for every 1,000 new residents.

Policy 7.1 Park Recreational Facilities.

Recreational facilities required by the General Plan are listed in Table 7-1, “Summary of Required Park and School Facilities.” Facility needs identified in the table will be met on either public and private park sites or public school sites within the Specific Plan area. The Parks and Recreation Master Plan described in Policy 7.2 below may refine and modify this list.

Policy 7.2 Parks and Recreation Master Plan.

Property owners and the County shall, as a priority project, develop a Parks and Recreation Master Plan to guide planning and design of individual park facilities. The master plan shall be guided by the design and programming sections of this Specific Plan chapter and identified in the Public Facilities Financing Plan. The Parks and

Recreation Master Plan shall address the need for specific types of active and/or passive recreational facilities. When designing park facilities adjacent to schools, the location and type of planned school facilities should be considered.

The plan shall also refine the trails design/ plan, establish a design “theme” for the parks, and provide specific development plans (for the types of equipment, materials, and cost estimate) for each park site.



Policy 7.3 Dedication of Parks and Open Space.

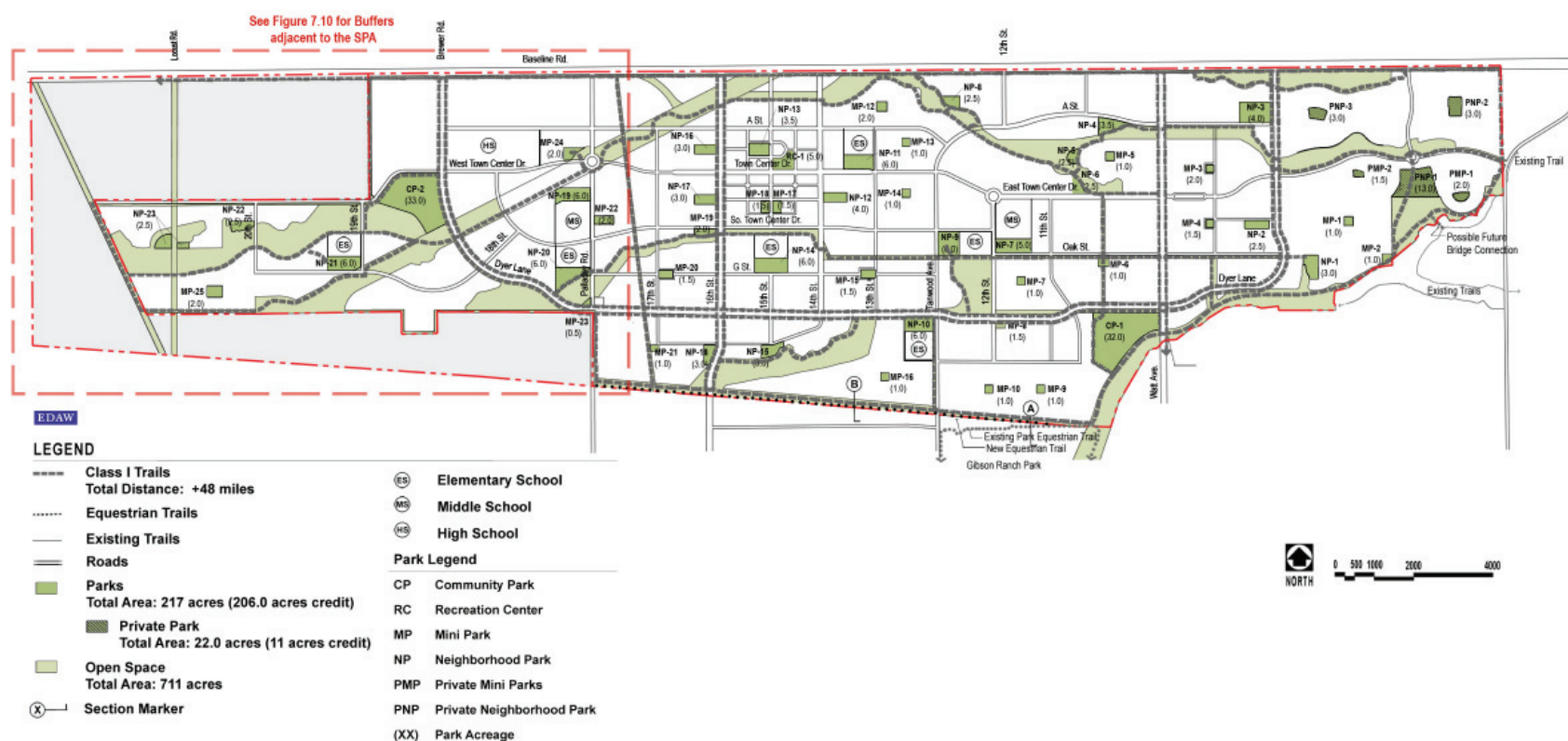
Landowners shall offer for dedication the areas within their property planned for parks and open space, including both active and passive use parks. The location and size of parks and open space are indicated in Figure 7.1; they will be refined in the Parks and Recreation Master Plan and finally located on tentative maps for individual projects. The timing for the development of parks and open space for individual projects and details regarding park fees, land dedications, and on-site park development shall be described in the Public Facilities Financing Plan and defined in the Development Agreement. See Chapter IX, “Implementation,” for additional information.

Policy 7.4 Park Maintenance.

Maintenance of parks shall be provided by the County. A County Service Area (CSA) or other special district will fund maintenance and recreation programs, assessed through property taxes.

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Figure 7.1 Parks and Open Space Plan Diagram



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Table 7-1 Summary of Required Park and School Facilities ¹

The table below provides a list of facilities required by the Placer County General Plan. The Parks and Recreation Master Plan will define the park and recreation facilities that shall be provided for each park within the Placer Vineyards community.

Quantity Required by General Plan	Facilities Required by General Plan	Facility Size 2	Acres per Facility
16.5	Tot Lots	~ 60 feet in diameter	0.15
11	Playgrounds	~ 100 feet in diameter	0.33
6	Tennis Courts	60 feet by 120 feet	0.20
6	Basketball Courts	50 feet by 100 feet	0.20
11	Hardball Courts	325 feet F.L.	3.67
11	Softball Diamonds,	300 feet F.L.	2.81
	Little League Diamonds		1.43
17	Youth Soccer Fields	150 feet by 250 feet	1.38
17	Adult Soccer/ Football/ Open practice field	225 feet by 360 feet	2.30

Note:

1 Some recreational facilities may be constructed on public school sites subject to agreement between Placer County and school districts.

2 Field sizes based on County and NRPA facility standards.

PARKS AND OPEN SPACE

PARK CLASSIFICATIONS

Types of parks designed for the Placer Vineyards community include community parks, a Town Center community park, a recreation center, neighborhood parks, and mini parks, as identified in the Parks and Open Space Plan. There are also a few private parks, located primarily within the properties set aside for an active-adult community. The park types are described in the sections that follow. Facilities allocations in these descriptions and conceptual park layouts shown in the figures may be modified by the Parks and Recreation Master Plan (see Policy 7.2).

Community Parks:

Two large community parks are located in the Plan Area. The East Community Park (Community Park #1) is located on the eastern portion of the Plan Area, adjacent to the Dry Creek Parkway. The park will incorporate parking, staging, and access to Dry Creek for bicyclists, pedestrians, and equestrians (see Figure 7.2 for a conceptual site diagram of the East Community Park). The West Community Park (Community Park #2) is located on the western portion of the Plan Area, near Village Center retail, the Riego area, and the open space corridor for the east-west power line (see Figure 7.3 for a conceptual site diagram of the West Community Park). Offering both active sports fields and passive recreation areas, community parks serve a range of community activities that may include youth and adult leagues, picnics, and neighborhood events.

Potential facilities for community parks include:

- ♦ Two full-court basketball courts
- ♦ Multi-use court
- ♦ Four lighted tennis courts
- ♦ Two youth softball/ baseball fields with at least one soccer field overlay
- ♦ Lighted adult softball/ baseball field
- ♦ Two volleyball courts
- ♦ A skateboard park
- ♦ Open turf area
- ♦ Tot lot and equipment for ages 2-5
- ♦ Play lot/ structure for ages 6-12
- ♦ Picnic areas with BBQ and either shade structure or adequate shade from trees

- ♦ Large group picnic area with BBQ and shade structure for 50 or more people
- ♦ Restroom with concession stand
- ♦ Large maintenance building with yard
- ♦ Two or more of the following special facilities which may include: a community center, recreation center, aquatic center, senior center, youth center and gymnasium
- ♦ 75% or more of the needed parking located on-site (typical parking ratio is nine spaces per acre, but each site will be evaluated based on type and location of facilities)

Policy 7.5 Construction of Community Parks.

The design and construction of community park facilities will be shared by Placer Vineyards property owners and the County. Property owners will initially construct and fund a portion of community park facilities and the County will construct the remaining portions of community parks and regional recreational facilities, as defined by the Development Agreement.

Town Center Green:

The Town Center green, at the heart of the Town Center, is a 3.5-acre civic park with shaded walkways, active and passive use areas, fountains, special lighting and landscaping, and pedestrian features designed to complement the Town Center themes (see Figure 7.4 for a conceptual site diagram of the Town Center green). It will serve as a civic/ cultural focal point and gathering place for the Town Center. Ground-floor storefronts, restaurants, cafes, and public buildings face into the park. Activities in the parks may include evening performances, farmers' markets, public gatherings or ceremonies, and everyday informal uses such as picnics and children's playtimes.

The Town Center green may include the following facilities:

- ♦ Tot lot and equipment for ages 2-5
- ♦ Play lot/structure for ages 6-12
- ♦ A small outdoor amphitheater turf area or bandstand
- ♦ A central identifying landmark feature such as a clock tower, sculpture, fountain, or water feature
- ♦ Special lighting and pedestrian elements that complement the Town Center themes
- ♦ Special landscape themes

- ♦ Open areas for informal recreation

Recreation Center:

The recreation center is a 5-acre community facility in the Town Center. The recreation center is planned as a large indoor and outdoor recreation facility (see Figure 7.5 for a conceptual site diagram of the Recreation Center). The Recreation Center may include the following facilities:

- ♦ Community center with meeting rooms
- ♦ Recreation hall and fitness rooms and equipment
- ♦ Associated park recreation offices
- ♦ Outdoor gathering and seating areas
- ♦ Tennis courts
- ♦ Half-court basketball court
- ♦ Gardens

Neighborhood Parks:

Neighborhood parks range from 2 to 15 acres in size, and typically average from 5 to 15 acres in size (see Figure 7.6 for a conceptual site diagram of a neighborhood park). They include the eight neighborhood parks to be built as joint use facilities with proposed school facilities. Facilities will vary based on available acreage.

Neighborhood parks may include:

- ♦ Full-court basketball court
- ♦ Two tennis courts
- ♦ Youth softball/ baseball field
- ♦ Volleyball court
- ♦ Open turf area
- ♦ Tot lot and equipment for ages 2-5
- ♦ Play lot/ structure for ages 6-12

- ♦ Picnic areas with BBQ, minimum two tables each, and either a shade structure or adequate shade from trees
- ♦ Restrooms for parks depending on planned uses
- ♦ Small maintenance building
- ♦ Security lighting
- ♦ Street frontage parking on all sides except those that border public land; possible on-site parking

Policy 7.6 Neighborhood Park Design.

Neighborhood parks shall be located and designed according to the following specifications.

1. *Designated neighborhood parks within the Plan Area shall be developed in the locations indicated in Figure 7.1, "Parks and Open Space Plan Diagram."*
2. *108 total acres of neighborhood parks are designated in the Specific Plan.*
3. *A total of 48 acres of neighborhood parks shall be joint-use parks, shared with and located adjacent to schools. These parks shall be a minimum of 6 acres in size.*
4. *Neighborhood parks shall be sited and designed to maximize their visibility along streets and thereby enhance the public right-of-way and neighborhood character.*
5. *Neighborhood parks shall generally have street frontage on all sides, except where they abut open space or public uses. Street frontage should be collector or residential streets, as appropriate, fronted by at most one collector street (see Figure 7.8).*
6. *Neighborhood parks should be designed with different character or themes, landscape treatment, and uses, as defined in the Parks and Recreation Master Plan, to encourage variety between residential neighborhoods.*
7. *Parking for neighborhood parks shall be provided on nearby streets, at adjacent schools, or on-site as required by the needs of the park as determined by the County.*
8. *Joint-use parks shall be designed to operate independently of adjacent school facilities.*

PARKS AND OPEN SPACE

Private Parks:

A total of 22 acres of private parks are located in the active-adult community (property #1A), as indicated in Figure 7.1, “Parks and Open Space Plan Diagram.”

Policy 7.7 Private Parks.

Private parks shall qualify for up to 50% toward the community recreation requirement subject to the provisions of Section 16.08.100-I of the Zoning Code and the following requirements:

- 1. The park and its facilities are in agreement with the requirements of this Specific Plan.*
- 2. The facilities shall be privately owned and maintained by future residents of the development.*
- 3. The facilities are restricted for park and recreational uses by covenants, conditions, and restrictions.*
- 4. Residents are not charged additional fees for use of the park and its facilities.*

Mini Parks (Pocket Parks):

Mini Parks or pocket parks can be as small as one-quarter to one-half acre, but are more typically 1- to 2-acre sites that provide outdoor recreational opportunities to the residents in the immediate surrounding area. A total of 34.5 acres of mini parks are designated in the Specific Plan.

Uses and activities in mini parks may include the following:

- ♦ Half-court basketball court
- ♦ Open turf
- ♦ Picnic area with BBQ and a minimum of two tables and a shade structure, or adequate shade from trees
- ♦ Security lighting

Not all mini parks are shown in the land use diagram, but they are encouraged to be built within large residential developments.

Policy 7.8 Construction of Neighborhood and Mini Parks.

Landowners shall design and install park improvements for neighborhood and/or mini park site(s) planned for the property, according to the funding and timing mechanism identified in the Public Facilities Financing Plan and the following provisions in the Development Agreement.

- 1. The number, size, and location requirements for neighborhood and mini park sites shall be satisfied. In addition, when more than one park site is proposed for the property, tentative subdivision maps shall identify the appropriate neighborhoods responsible for the construction of the park sites.*
- 2. Each park site shall be improved at the time of development of the applicable neighborhood assigned to the development of the park site. Park facilities will, therefore, be constructed and improved according to a plan for the site prepared by the landowner and approved by the County.*
- 3. Park facilities will be designed in accordance to the guidelines of the Specific Plan, the Parks and Recreation Master Plan, and the standards for facility improvements provided by the County.*
- 4. Landowners are responsible for all costs associated with the approval of the park improvement plan as defined by the Development Agreement.*
- 5. Upon satisfactory completion of neighborhood or mini park improvements, the County shall accept the dedication of improved neighborhood or mini park sites and assume the ownership and maintenance, provided that the cost of such maintenance is funded by the CSA.*

Figure 7.2 Conceptual East Community Park Site Design

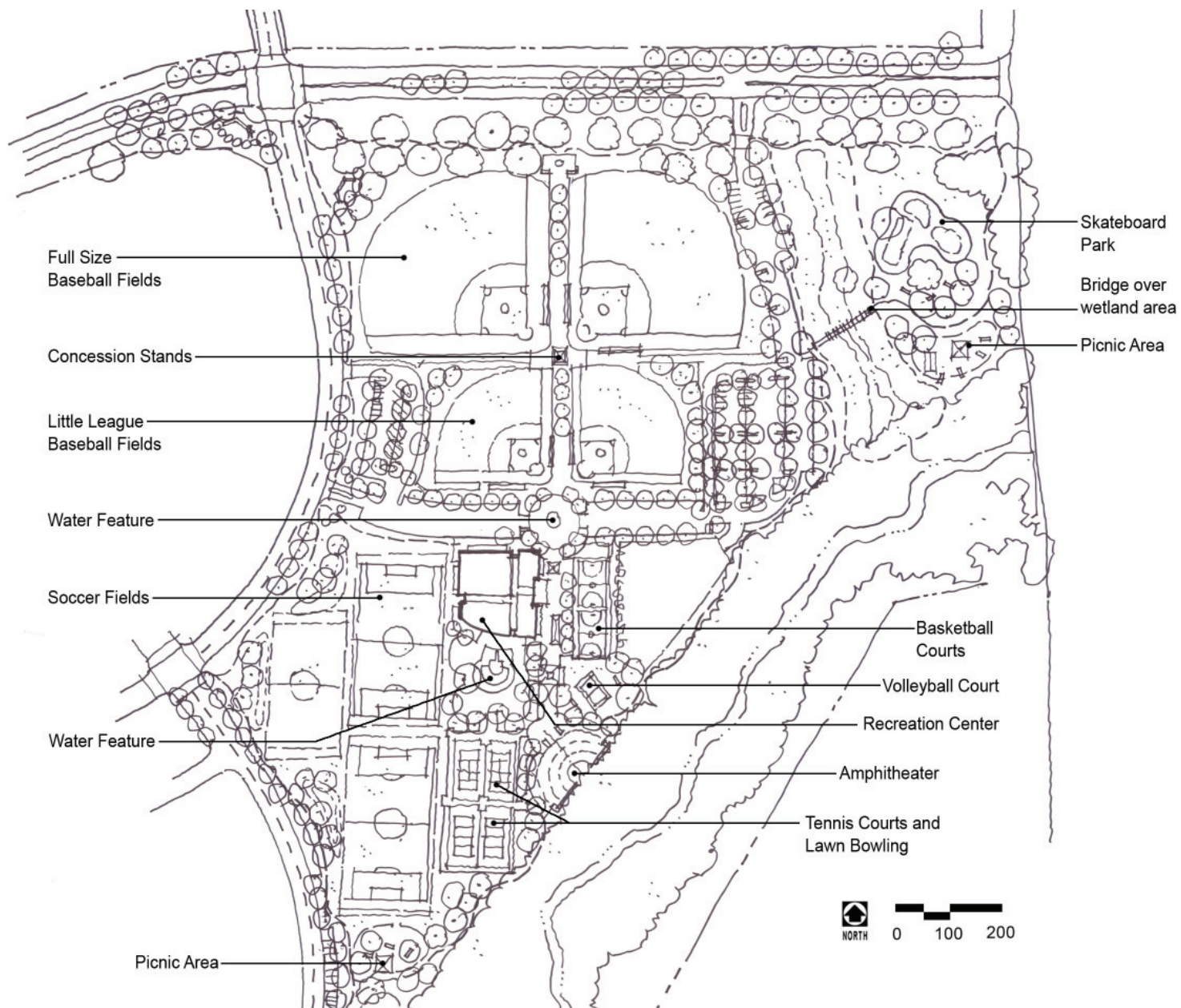


Figure 7.3 Conceptual West Community Park Site Design

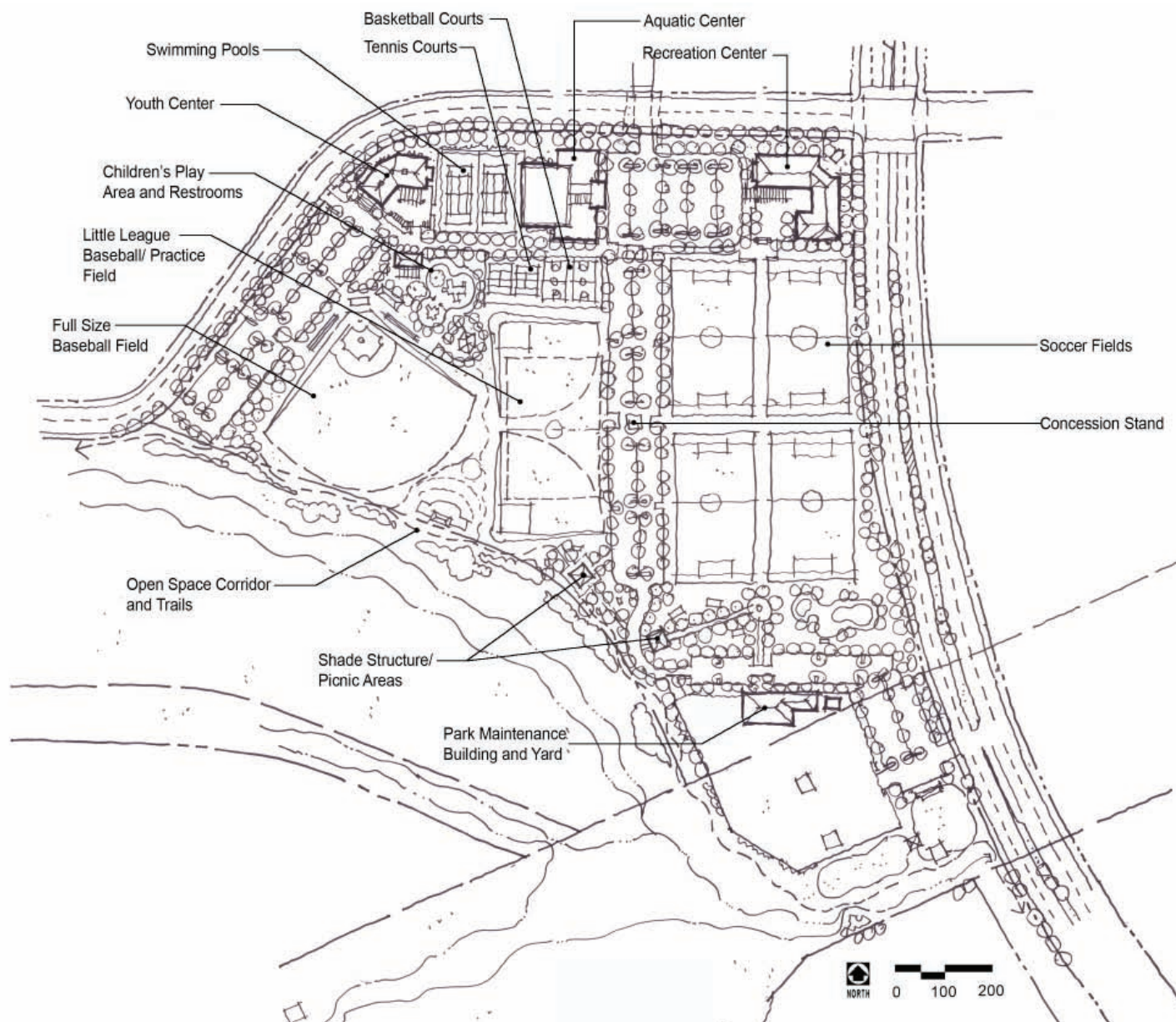


Figure 7.4 Conceptual Town Center Community Park Site Design

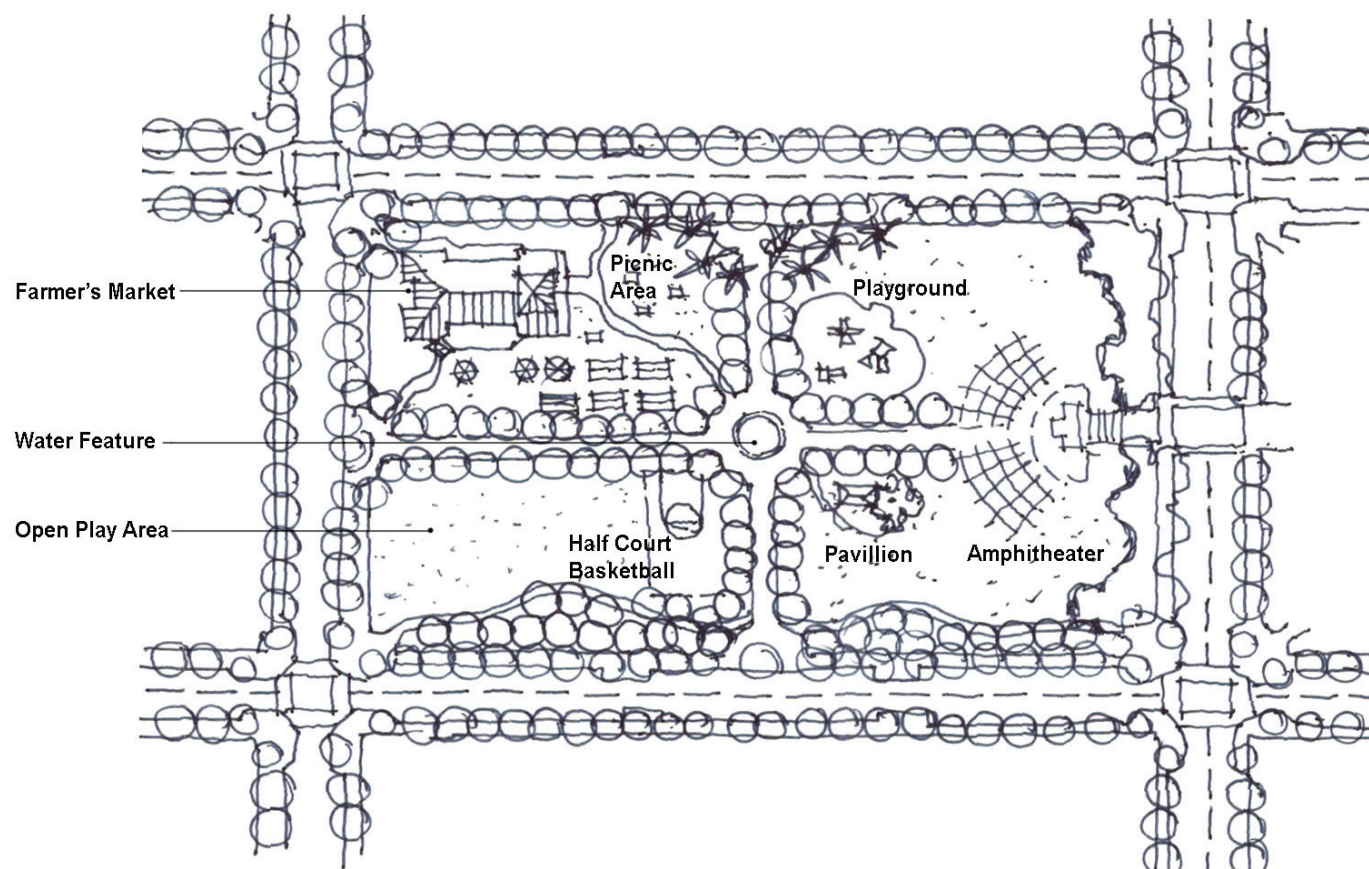


Figure 7.5 Conceptual Recreation Center Site Design

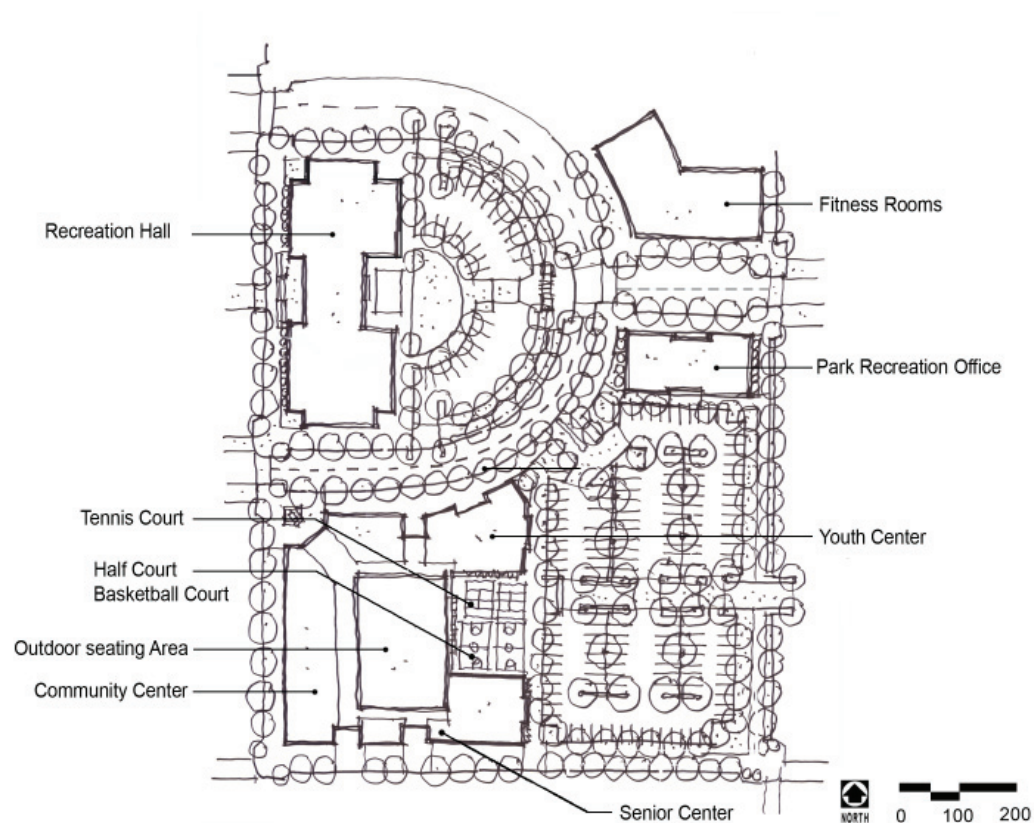


Figure 7.6 Conceptual Neighborhood Park Site Design

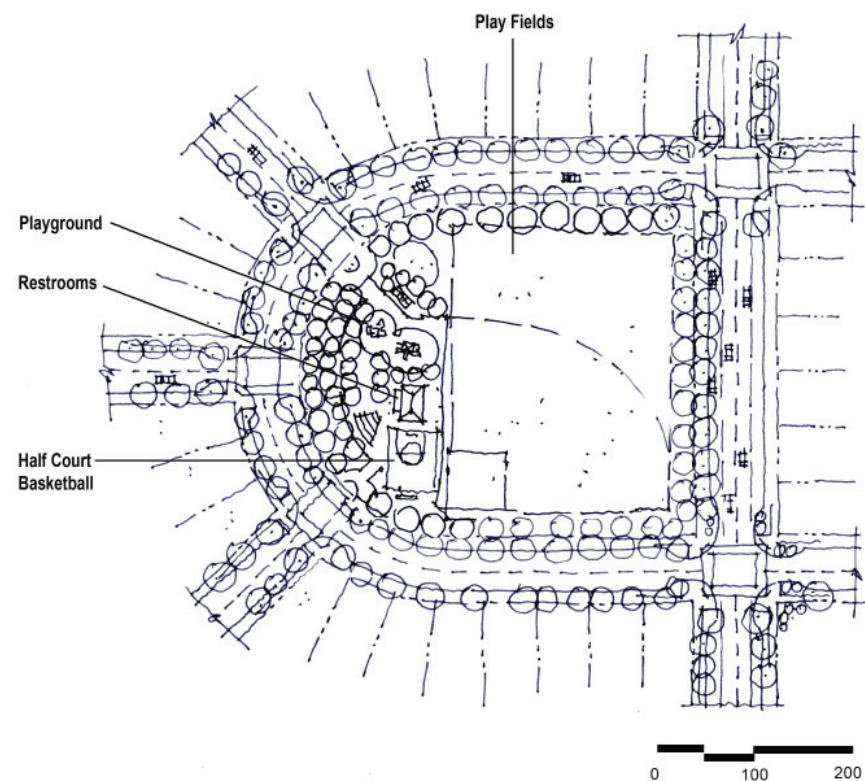
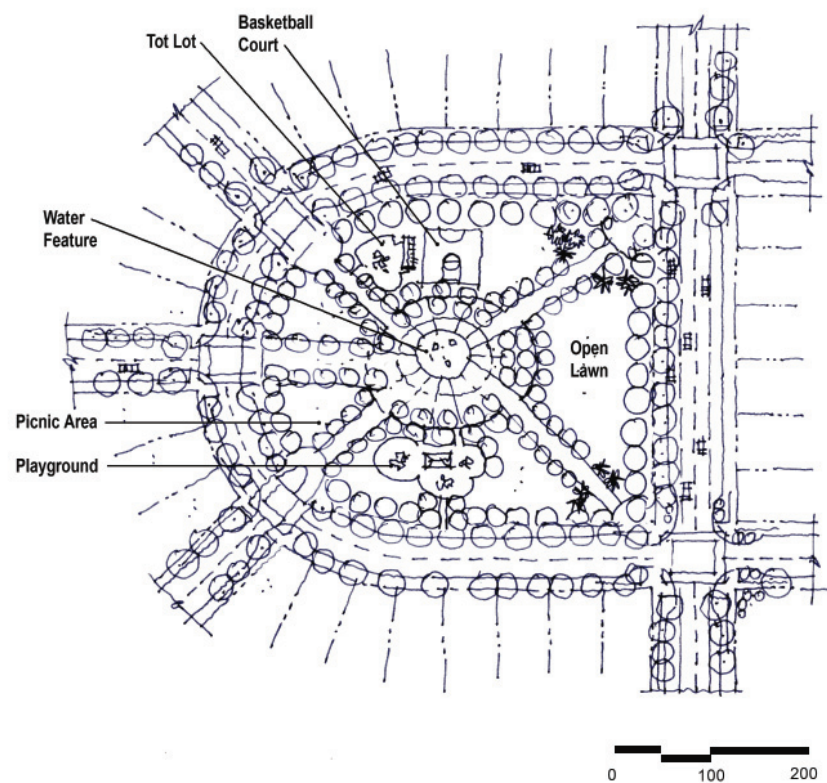


Figure 7.7 Conceptual Mini Park Site Design

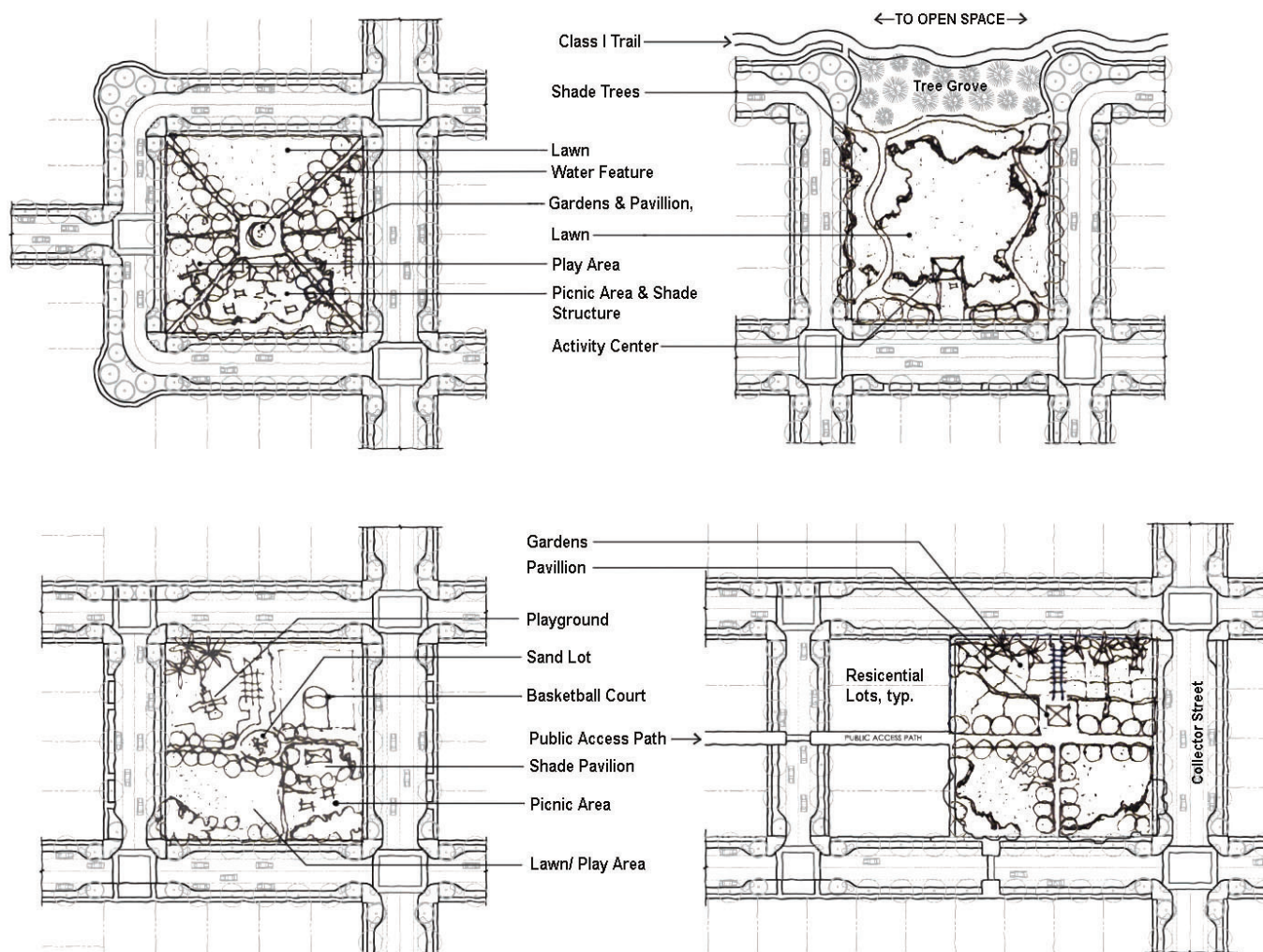
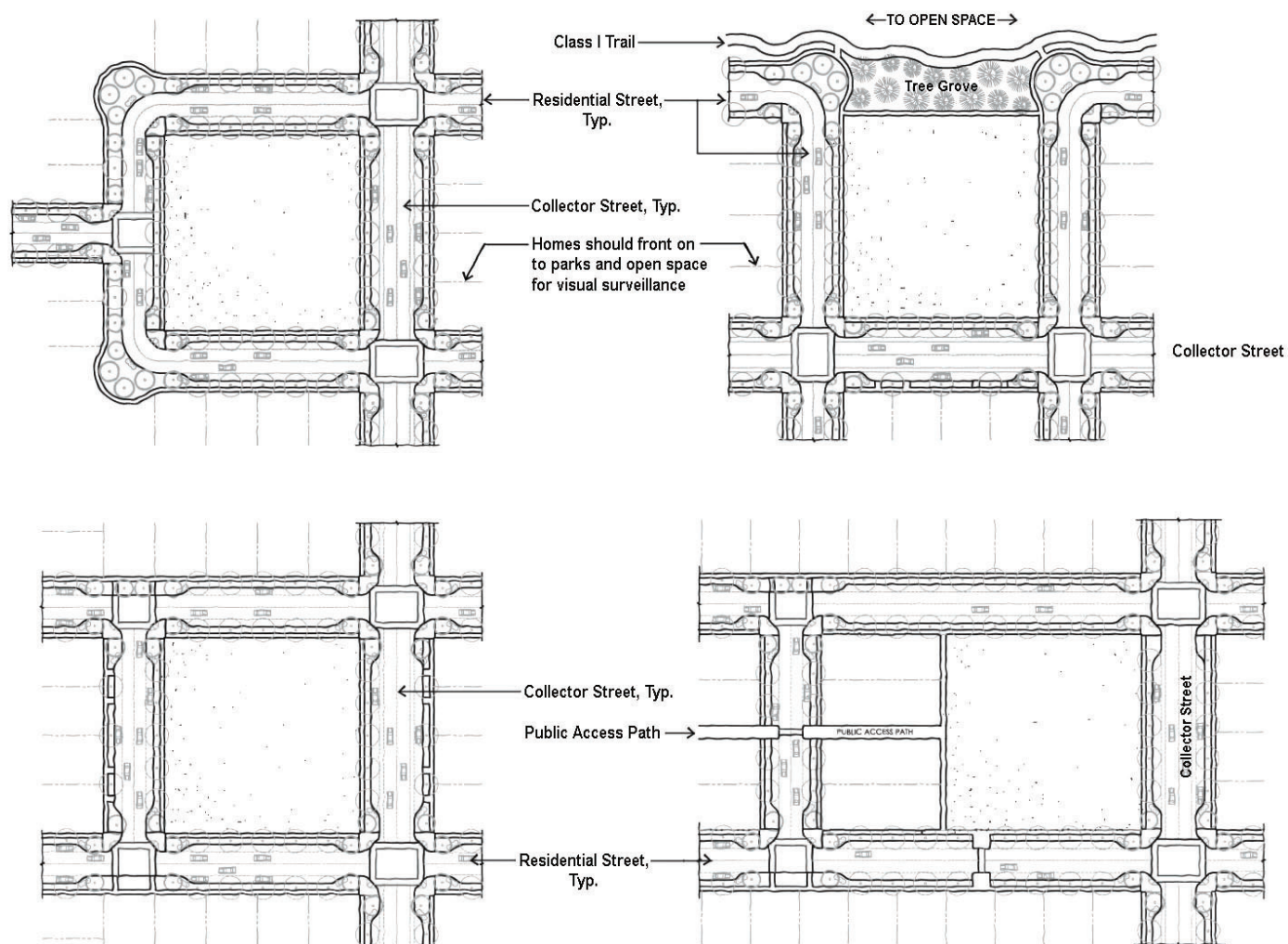


Figure 7.8 Conceptual Roadway Designs Surrounding Parks



PARKS AND OPEN SPACE

Policy 7.9 *Park Design.*

Park site layouts should be designed consistent with the following standards and guidelines.

- 1. Parks should be sited to provide a public focus and should be located next to collector streets, residential areas, schools, and open space. Community parks should provide site access from local collector streets.*
- 2. A village green or small public plaza should be integrated into the site design of each Town Center and Village Center.*
- 3. Locating parks adjacent to open space is encouraged. Site design of residential neighborhoods should avoid large areas with lots backing onto parks.*
- 4. Parks should be shaped and sized to accommodate park uses and should not be odd or leftover spaces.*
- 5. Parks should be designed to engage the natural vegetation, wetlands, and topography of the site.*
- 6. Parks should be linked by a system of greenways and parkways with paths separated from vehicular traffic.*
- 7. Parks should be centrally located in neighborhoods.*
- 8. Parks should be located adjacent to streets for public access and visibility.*
- 9. Streets that cut through or bisect parks should be avoided.*
- 10. Parking for neighborhood parks should be provided on street or shared with school lots. Parking for community parks should be adequately sized to avoid spillover parking into adjacent residential communities.*
- 11. Refer also to Policy 6.18 for lighting of athletic fields.*

7.3 OPEN SPACE

The open space system includes drainage ways, floodways, riparian and wildlife corridors, protected woodlands and other sensitive habitat areas, greenways (e.g., trails and landscaping), and utility and power line easements. Open space areas are designed for stormwater conveyance, flood detention, and groundwater recharge with opportunities to preserve and restore wetlands, creeks, and drainage ways.

Open space corridors and easements in the Plan Area provide trails, stormwater conveyance, flood detention, opportunities for wetland mitigation, and buffers and transition areas between different land uses. Open space and landscape buffer areas may also have passive recreation facilities, which may include several community-wide bicycle trail loop systems, interpretive signs for preserved wetlands, bird watching areas, rest stops with benches, overlooks, picnic areas, gathering areas, and gardens.

Open space buffer areas on the periphery of the Plan Area are provided as a landscape transition between the urban character of Placer Vineyards and the adjoining rural residential and agricultural uses in the county. These are landscaped setback areas tied into the open space and trail system. They provide opportunities to connect to the system of trails, stormwater drainage swales, and habitat corridors. Open space buffers are also intended to screen residential neighborhoods from odors and other potential land use incompatibilities created by agricultural activities that may still be occurring in the Special Planning Area (SPA).

Passive park spaces are also provided in two open space areas that contain oak groves. These open space areas are intended to preserve significant clusters of existing oak trees on-site and provide recreational opportunities to the Placer Vineyards community.

A network of trails will provide public access through the open space system, connecting to the communities within and outside of the Plan Area. This communitywide trail system includes a key east-west link from the SPA along the Sacramento/Placer County line to Gibson Ranch Park, and connecting north to the Doyle Ranch subdivision along the Dry Creek corridor. The location and design standards for trails are set forth in Chapter V, "Transportation and Circulation."

Goal 7.2 Create an interconnected system of open space that encompasses the preservation and enhancement of natural habitat areas for the use, appreciation, and enjoyment of the community.

Goal 7.3 Locate open space accessible to residents and link these lands to community activity areas and recreation areas.

Goal 7.4 Use landscape buffers to protect the natural environment from the built environment, to separate incompatible land uses, and to provide transitions from higher intensity urban development to more rural developments around the Placer Vineyards Plan Area.

Policy 7.10 Types of Open Space Land.

The following types of open space will be considered passive parks and count toward meeting the passive park requirement of 5 acres per 1,000 residents:

- ♦ Floodways
- ♦ Site protected wildlife corridors
- ♦ Greenways with potential for trail development
- ♦ Open water (ponds, lakes, and reservoirs)
- ♦ Protected woodland areas
- ♦ Protected sensitive habitat area, provided that interpretive displays are provided (i.e., wetlands and habitat for rare, threatened, or endangered species)

Policy 7.11 Dedication of Open Space Land.

Where open space is determined to qualify as passive park, such land shall be dedicated to Placer County and maintained by a CSA or similar mechanism. Trails and open space may also be dedicated or restricted with public-access easements as each adjacent parcel develops, provided that there is a funding mechanism to address maintenance and liability.

Policy 7.12 Maintenance of Open Space Land.

Maintenance of open space corridors that qualify as passive park land will be provided by the County and funded by a community-wide assessment fee or similar mechanism. A community-wide fee will be charged as determined by the Public Facilities Financing Plan. This does not include drainage fees that may be assessed for acquisition and improvement of detention facilities and the cost to revegetate or hydro-seed drainageways. Certain trails, such as the Dry Creek Trail, that provide a communitywide or regional benefit may also be constructed from this community-wide fee.

Policy 7.13 Facilities in Open Space Corridors.

Specific design features and functions of open space corridors shall be defined by the Landscape Master Plan and will be finalized when detailed plans (i.e., tentative maps) are prepared and submitted to the County.

Policy 7.14 Facilities in Open Space Areas.

Recreation facilities in open space and buffer areas may accommodate passive uses such as walking, jogging, bird watching, picnics, interpretative signage and teaching areas, rest stops, and overlooks. These improvements will be located and described by the Landscape Master Plan and installed by the owners of the adjacent parcels when those parcels are developed.

Open Space Buffers**Policy 7.15 Design of Open Space and Buffer Areas.**

Open space and buffer areas should be designed consistent with the following guidelines:

1. *Trails and park amenities should be carefully sited to avoid disturbance of sensitive natural resources on-site. Sensitive preserve areas, wetland areas, or stands of oak trees may be protected using fences to discourage access and help establish plantings.*
2. *Within open space areas, grading, realignment, and excavation will be required for flood protection, stormwater drainage, or retention ponds.*
3. *Fences, 4 feet in height and open in character, shall be used to protect sensitive habitat and other preservation areas or to restrict vehicular access at streets.*
4. *Within open space areas, landscaping will be low-water-use grasses, ground covers, California native trees, and the plants recommended for use in open space areas in Appendix B, "Recommended Plant List."*
5. *Within buffer areas landscaping will consist of plants, including evergreen and deciduous trees, shrubs, and ground cover.*
6. *See Figure 7.1 for the locations of open space buffers and Figures 7.10 through 7.12 for more detailed plans and cross sections.*

Policy 7.16 Buffer Areas Adjacent to the Special Planning Area.

Open space buffers shall be provided along the entire edge of the Special Planning Area. Except adjacent to the railroad right-of-way, which will serve as an open space buffer, open space buffers shall be provided as indicated in Figure 7.10.

PARKS AND OPEN SPACE

Policy 7.17 Buffers along the County Line.

A 200-foot buffer shall be designed along the Sacramento County line from Tanwood Road to Palladay Road. A 50-foot-wide buffer is provided along the Sacramento County border, adjacent to Gibson Ranch Park (see Figures 7.11 and 7.12).

Policy 7.18 Oak Grove Open Space Areas.

Concentrations of significant oak trees on the site shall be preserved in two large oak grove open space areas, one located at the northwest corner of Dyer Lane and 12th Street and the other on the east side of the Plan Area along the Dry Creek Corridor (see Figure 7.1). These open spaces shall preserve the existing stands of oak trees and serve as passive open space areas that provide a visual and educational resource to the community.

Policy 7.19 Open Space Character.

Open space areas should complement the character of the existing site (which is predominantly Valley oak or savanna). These areas can integrate wildlife habitat enhancement and restoration while providing local residents with opportunities for passive recreation, ecological observation and education, and gardening. A brief description of what the open space design concept can be is provided below and a recommended plant palette is provided in Appendix B.

Valley Oak Savanna:

The open space areas may consist of woodland canopies dominated by valley oak trees, scattered throughout rolling topography. Additional tree species may include buckeye, western redbud, and California coffeeberry. Understory shrubs can support the woodland and may include upland scrub species such as California wild grape, elderberry, manzanita, toyon, and California blackberry. Ground cover and meadow areas consisting of native grasses and forbs including penstemon, monkey flower, California brome, barley, wild rye, and needlegrass can be included in the woodland. Birds that may be attracted to the savanna include California quail, woodpecker, and hawk, while wildlife may include dusky footed woodrat, mule deer, gray fox, and rabbits.

Community Gardens:

Implementation of community gardens by gardening clubs, nonprofit organizations, or local neighborhood associations and groups is encouraged. Community gardens can provide places for local residents to grow their own vegetable gardens and learn gardening techniques. They can help to promote healthy communities by strengthening community bonds, providing home-grown food, and promoting environmental awareness. Community gardens may be located at various open space areas and along corridors for electrical power lines. Gardens benefit the community by increasing adjacent property values, reducing air pollution, moderating the climate, and supporting a diversity of plant and animal life. Community gardens can also be used to grow many diverse plant communities such as native plants, wildflowers, roses, vegetables, herbs and ethnobotanical (medicinal) plants. Certain gardens can be planted to attract butterflies, hummingbirds, and other wildlife.

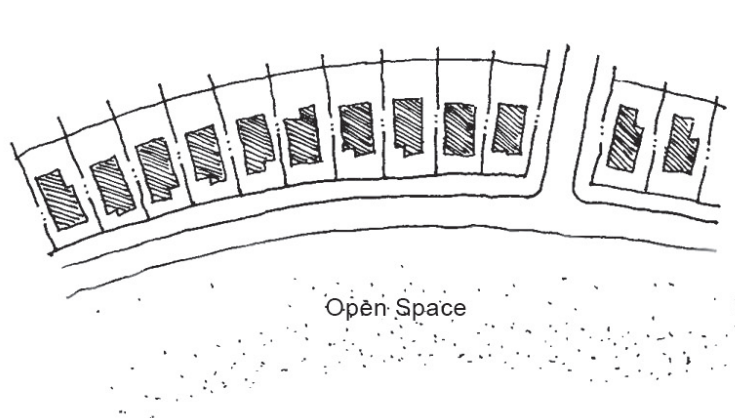
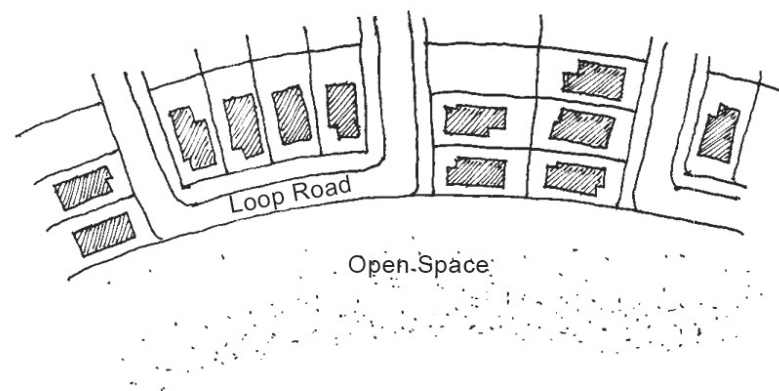
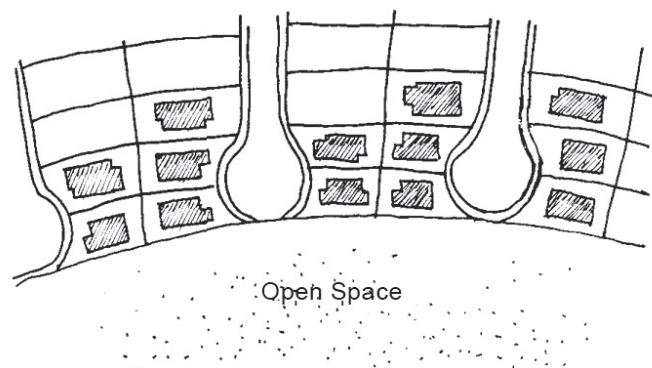
Figure 7.9 Open Space Buffer Conditions**Plan A:** Lots Fronting Open Space**Plan B:** Loop Road With Lots Fronting and Siding onto Open Space**Plan C:** Cul De Sac with Lots siding onto Open Space

Figure 7.10 SPA Open Space Buffer and Trails Diagrams

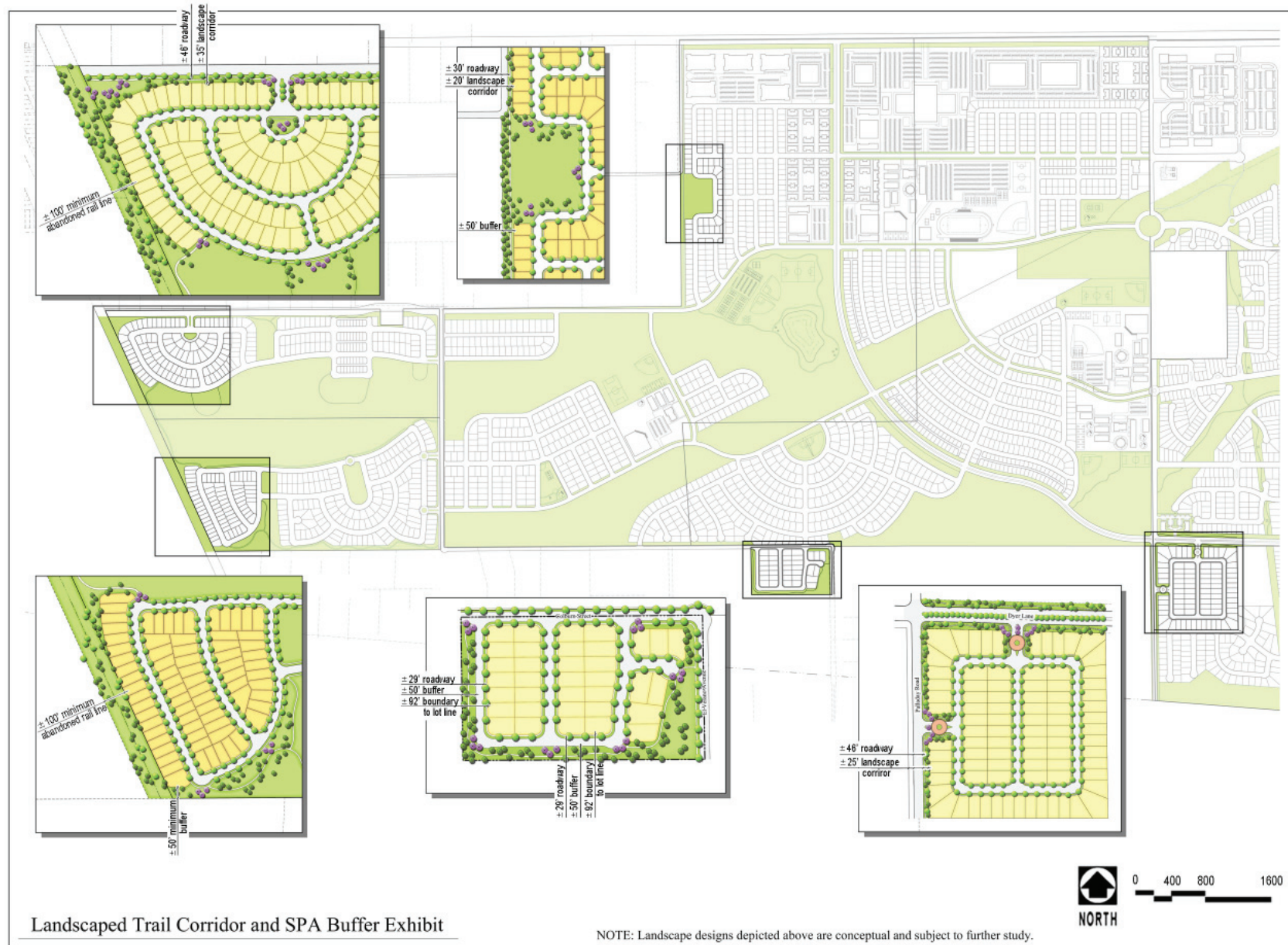


Figure 7.11 Open Space Buffer Section

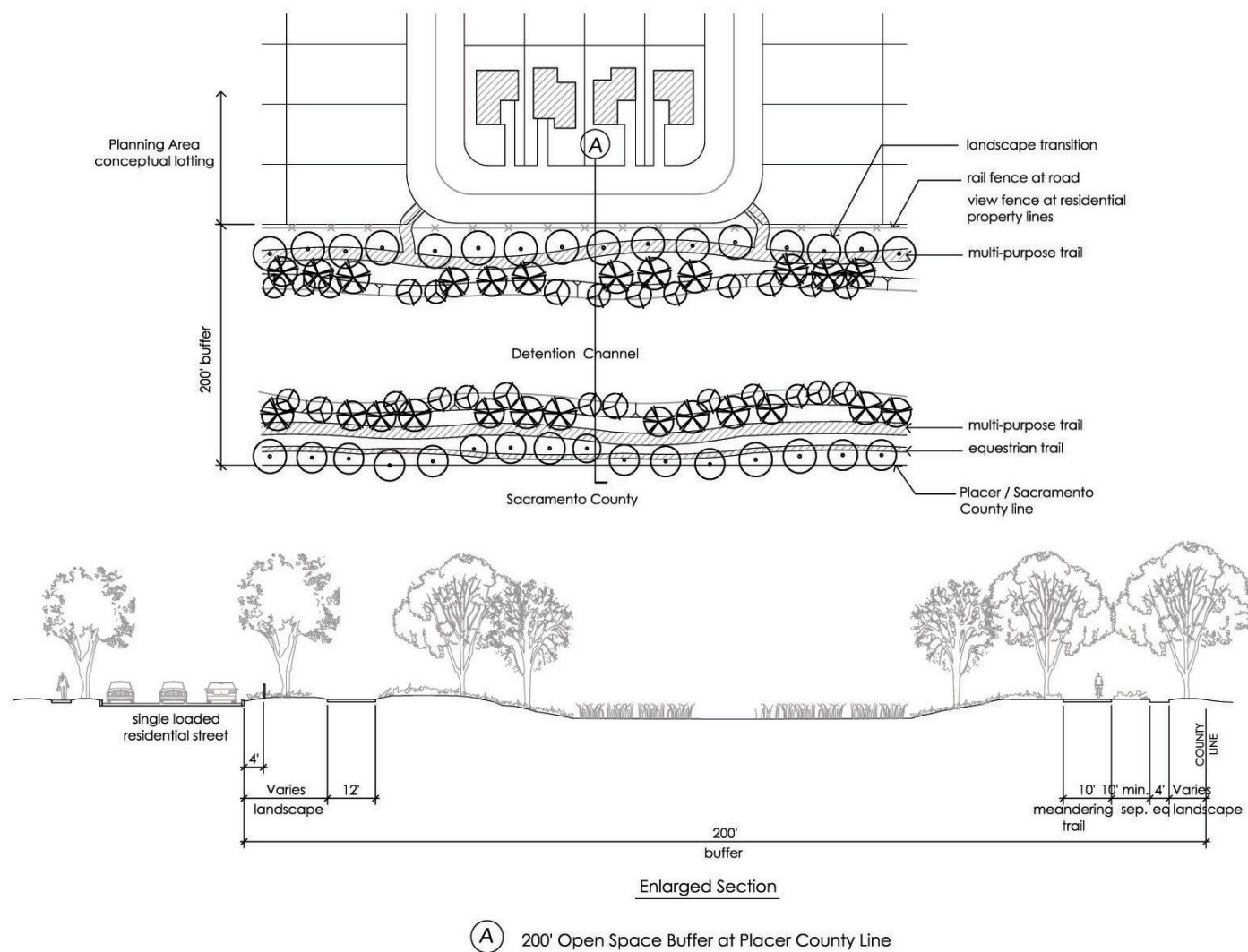
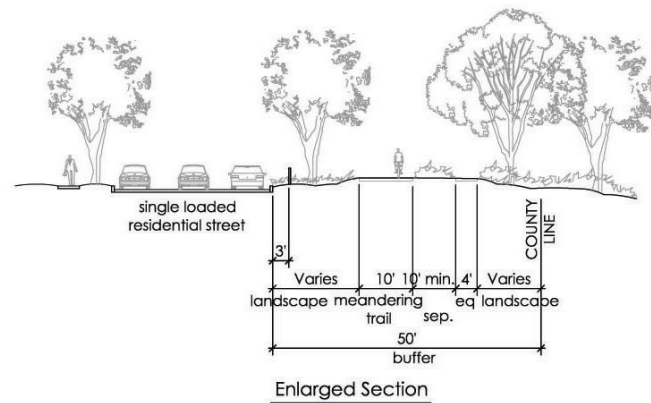
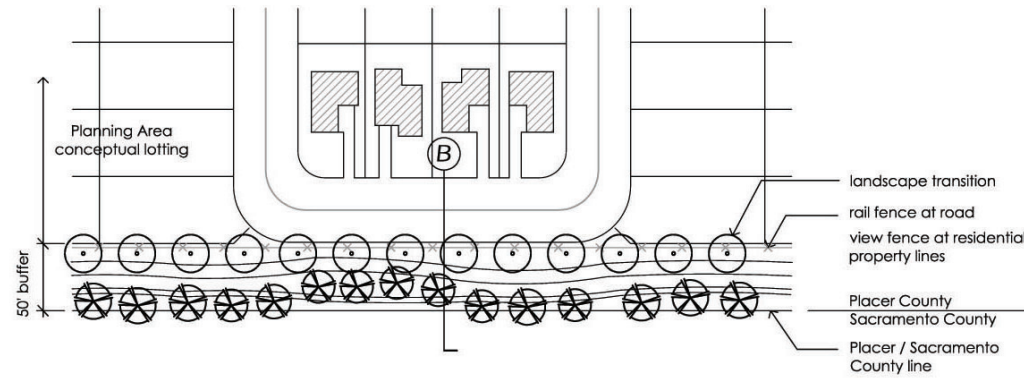


Figure 7.12 Open Space Buffer Section



(B) 50' Open Space Buffer at Placer County Line

CHAPTER VIII: PUBLIC UTILITIES AND SERVICES



8.1 PUBLIC UTILITIES AND SERVICES CONCEPTS

Context

This section provides an overview of the existing public utilities and services and identifies the backbone infrastructure necessary to serve the build-out of the Placer Vineyards Plan Area. The intent of this Specific Plan is to ensure the timely implementation of public facilities to maintain the specified service levels for the Plan Area, as defined in the Placer County General Plan.

Specific utilities that will be required by the development include roadways, sewer, water, storm drainage, and solid waste disposal. Public services that will be provided in the Plan Area include schools, general County services, a library, fire protection, and law enforcement. Refer to Chapter V, "Transportation and Circulation," for information on roadways, public transit systems, and trails. Parks and recreation facilities are discussed in Chapter VII, "Parks and Open Space." For timing and financing of facilities refer to Chapter IX, "Implementation." Table 8-1 provides a summary of the service providers for the Plan Area.

8.2 PUBLIC UTILITIES GOALS AND POLICIES

Goal 8.1 Create a comprehensively planned infrastructure system to serve the needs of future residents and allow existing residents to tie into upgraded facilities.

Goal 8.2 Provide public facilities in a timely manner, as required, to serve new development without adversely affecting existing levels of service.

Goal 8.3 Conserve energy and water through the use of recycled water and other designs.

Water Supply and Distribution Goals

Goal 8.4 Encourage the use of recycled water as one source for the irrigation of site landscaping.

Goal 8.5 Meet the Placer County General Plan requirement to assist in the supply of affordable, agricultural water, including reclaimed water, to surrounding agricultural lands in South Placer County.

Drainage and Flood Control Goals

Goal 8.6 Use and preserve existing drainage ways as much as possible and design flood control facilities to preserve significant wetlands and avoidance areas where sensitive features exist.

Policy 8.1 Public Facilities Implementation.
The following policies provide the framework for implementation of public facilities:

1. New development and the public facilities to serve new development shall be planned and developed according to the Placer County Land Development Manual.
2. The Development Agreement between Placer Vineyards landowners and the County shall ensure that the project pays for its share of construction costs.
3. All public facilities shall be constructed and publicly dedicated as reflected in this Specific Plan and the Placer County General Plan service requirements, and as specified in the Development Agreement.
4. Reasonable efforts shall be made to facilitate future connections to the system of public utilities and roads.
5. Utility lines shall be placed underground to the extent feasible.
6. Utilities shall be designed and constructed to minimize future operation and maintenance costs to users.

Policy 8.2 Public Utilities and Services to the Special Planning Area.
Specific Plan infrastructure (water, sewer, storm drainage, etc.) will be sized for the subsequent extension of these services into the Special Planning Area (SPA). Developers of properties west of Dyer Lane which abut the eastern project boundary of the SPA area shall be required to extend water and sewer mains of a size adequate to serve the SPA area and shall provide any easements necessary



PUBLIC UTILITIES AND SERVICES

to accommodate this infrastructure. The specific number, location and timing of such extensions shall be established at such time as subdivision tentative maps are approved for these properties.

Property owners in the SPA area will be responsible for the costs of extending infrastructure to their property, including any plan area or service area fees.

Policy 8.3 Agricultural Water Supply.

Development within the Specific Plan Area should assist in the provision of agricultural water to surrounding agricultural lands. Sources of such agricultural water include reclaimed and retained water and newly developed surface water sources. Placer Vineyards shall pay agricultural water development fees to the Placer County Water Agency for improvement projects that will increase the storage and supply of recycled water for agricultural customers in southwest Placer County.

Table 8-1 Plan Area Service Providers

Service	Proposed Provider
Roadways	Placer County
Water	Retail: California American Water Company Wholesale: Placer County Water Agency
Drainage/Flood Control	Placer County and/ or Community Service Area (CSA)
Sewer	Regional: Roseville WWTP (South Placer Wastewater Authority) (Alternative: Sacramento Regional County Sanitation District) Local: Placer County, CSA
Solid Waste Disposal	Auburn Placer Disposal Service
Electrical Service	Pacific Gas and Electric Company (PG&E)/ Sacramento Municipal Utility District (SMUD)
Natural Gas	PG&E
Telephone	Sure West/ AT&T–SBC
Cable TV	Comcast and/ or other provider
Sheriff's Protection	Placer County
Fire Protection	Dry Creek Fire District, American River Fire District, California Department of Forestry and Fire Protection
Schools	Center Unified, Elverta Joint Elementary, and Grant Joint Union High School Districts
Library	Placer County
General County Services	Placer County
Open Space	—
Parks	Placer County and/ or CSA

PUBLIC UTILITIES AND SERVICES

8.2.1 WATER SUPPLY AND DISTRIBUTION FACILITIES

The Placer Vineyards Specific Plan area is within the service area of Placer County Water Agency (PCWA). The Plan Area will receive water service from a variety of sources during the various phases of its development.

Existing Water Supply and Distribution

No public water supply or distribution system currently exists in the Plan Area. Private wells pump groundwater for various agricultural and domestic uses. In the short term, groundwater will continue to supply water for farm operations that, in turn, supply water to on-site wetlands. It is possible that groundwater will continue to be used for long-term wetland mitigation purposes.

Water Supply Planning

PCWA has determined that it has sufficient water rights to meet the projected demands of projects likely to develop in western Placer County through 2030, including the Placer Vineyards Specific Plan area. PCWA prepared a Water Supply Assessment for the proposed Placer Vineyards Specific Plan as required by both Senate Bill (SB) 221 and SB 610. PCWA concluded that its remaining surface water entitlements are adequate to meet the build-out of the General Plans of the cities and unincorporated area in western Placer County, including the proposed Placer Vineyards Specific Plan.

Initial Water Supply and Distribution

Water supplies for the initial development phases will be provided by PCWA's Foothill Water Treatment Plant. Treated water will be delivered through the City of Roseville's system under a cooperative agreement between the City of Roseville and PCWA. The initial water supply system, as shown in Figure 8.1, will extend from the northeast corner of the Plan Area along Baseline Road and connect to an existing City of Roseville pipeline on Fiddymont Road. An alternative initial water supply could be made available by PCWA if the Sacramento River diversion (see below) has not begun deliveries at the time that additional water supplies are needed. In this case, a new pipeline would be constructed from the San Juan/ Sacramento Cooperative Pipeline, which currently terminates near the Antelope Road/ Walerga Road intersection. This alternative water supply option would also require improvements to San Juan Water District's Folsom Lake diversion and treatment facility.

Long-Term Water Supply and Distribution

Ultimately, water will be supplied via a pipeline constructed along Baseline Road, south on Pleasant Grove Road, west along Elverta Road, and connecting into a new water diversion at the Sacramento River. Construction of this joint pipeline will be undertaken by PCWA.

On-site Water Supply and Distribution

A backbone water transmission main located on Baseline Road will provide water to the entire Specific Plan Area. A water distribution grid consisting of mains located alongside the arterial and collector road system will connect to the main on Baseline Road (see Figure 8.1). Five water storage tanks are also distributed throughout the Plan Area to provide a total of approximately 15 million gallons of storage. The supply and distribution system and proposed tank locations are shown in Figure 8.2.

Recycled Water Supply and Distribution

Recycled water from treated wastewater is generated at the Dry Creek Wastewater Treatment Plant (DCWWTP) and the newly constructed Pleasant Grove Wastewater Treatment Plant (PGWWTP).

Initial Recycled Water Supply

The Plan Area will, to the extent feasible, use recycled water to irrigate its parks, schools, and publicly landscaped areas (including roadway corridors and medians). Initially a connection will be constructed to an existing recycled water line south of Dry Creek near Walerga Road. The line will be extended north on Walerga Road to Baseline Road and then west on Baseline Road to the Plan Area (see Figure 8.3). Booster pump and water storage tank locations within the Plan Area will be established during final design of the recycled water system.

Long-Term Recycled Water Supply

There are plans to construct a recycled-water line from the PGWWTP, west along Phillip Road, and south along Watt Avenue to serve the West Placer area, including the Specific Plan Area, as this area builds out. The PGWWTP water supply would supplement and/ or replace the DCWWTP service. Although it is estimated that there is adequate recycled water to meet both the average annual and peak daily demand for each phase of the Placer Vineyards development, the amount of recycled water available to the Plan Area may depend on the amount of effluent delivered to the PGWWTP. The amount of recycled water supplied to the Plan Area shall not exceed the effluent generated by the project on a peak July day.

Agricultural Water Supply

South Placer County agricultural customers currently obtain water from groundwater, PCWA, and the Nevada Irrigation District. Recycled water is available from the City of Lincoln Water Treatment and Reclamation Facility.

8.2.2 WASTEWATER COLLECTION AND TREATMENT

The Plan Area consists of two wastewater service areas. The approximately 890± acres generally east of Watt Avenue (indicated as “Shed B” on Figure 8.4) are within the service area of the DCWWTP, which is operated under a joint powers authority agreement between Placer County, the City of Roseville, and the South Placer Municipal Utility District. The larger remaining portion of the Plan Area generally west of Watt Avenue (“Shed A” on Figure 8.4) are not within the DCWWTP’s service area. Two options available to serve the Specific Plan area are described below. Refer also to the Placer Vineyards Specific Plan Sewer Master Plan (McKay & Soms, January 2006) for more detailed information.

Existing Wastewater Treatment and Disposal

Wastewater treatment and disposal in the Plan Area is currently provided through individual on-site wastewater disposal systems. These on-site disposal systems are either septic tanks with leaching trench systems or seepage pit systems.

Planned Wastewater Collection and Treatment

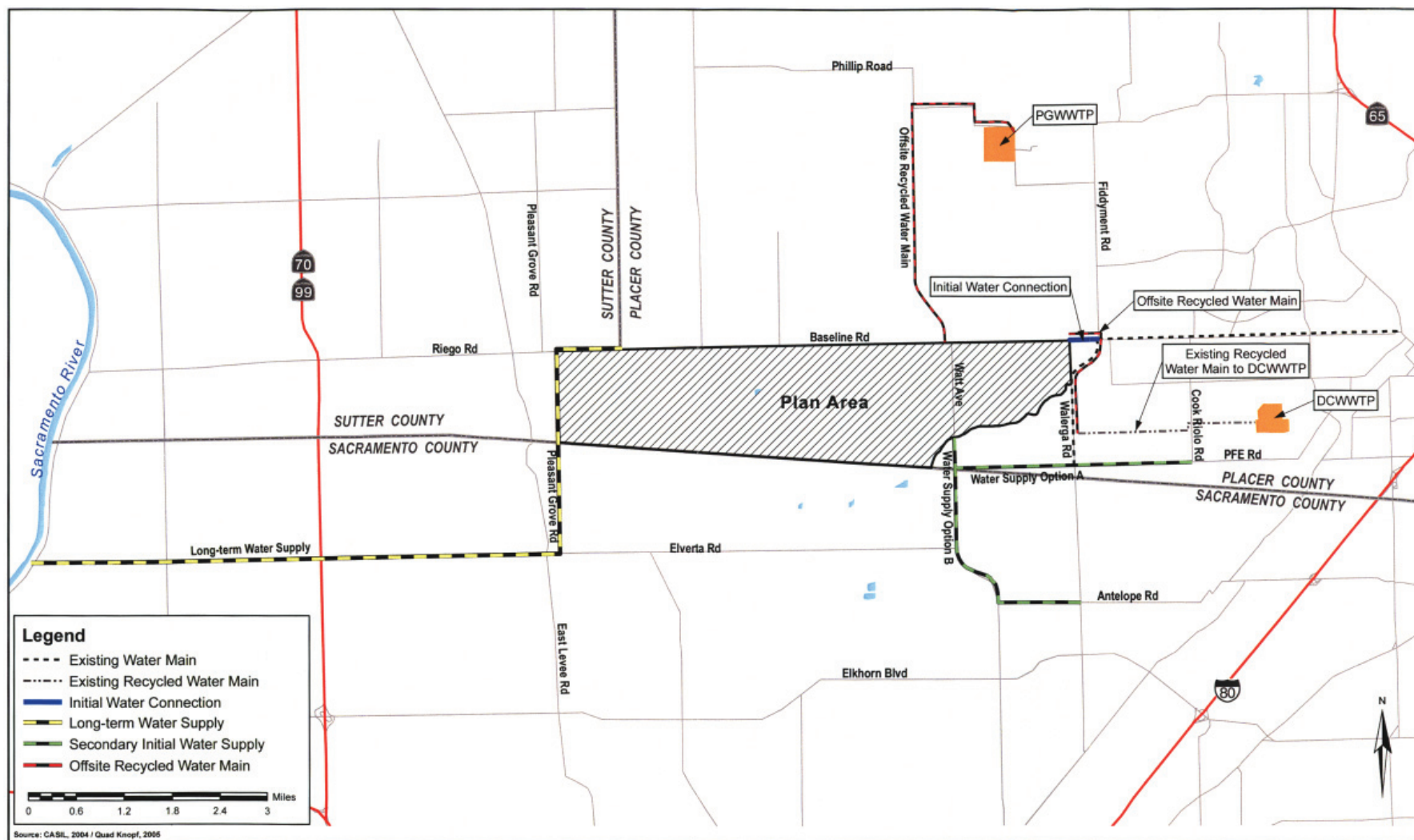
The preferred option for wastewater service is to treat flows from the entire Plan Area at the DCWWTP. Most of the approximately 890 acres in the eastern portion of the Plan Area, which are already within the current service area of the DCWWTP, would be served by a collection system discharging to a sewage lift station to be located south of Dyer Lane and east of Watt Avenue. From the lift station, wastewater flows would be carried in a force main along the south side of Dry Creek to an existing force main, located east of Walerga Road (see Figures 8.4 and 8.5).

Wastewater from the approximately 4,340 acres in the western portion of the Plan Area, would be directed to the DCWWTP by way of force main pipelines in the same utility corridor. This corridor would extend from the Specific Plan area, south along Watt Avenue, east along PFE road, and north to the plant by way of one of two proposed alignments. The preferred alignment would proceed northerly to the plant on the easterly segment of Hilltop Circle through the Roseville Corporation Yard. An alternative alignment would leave PFE road at Cook Riolo Road, turning easterly to the DCWWTP, just north of Dry Creek (see Figures 8.4 and 8.5).

Alternative Wastewater Collection and Treatment.

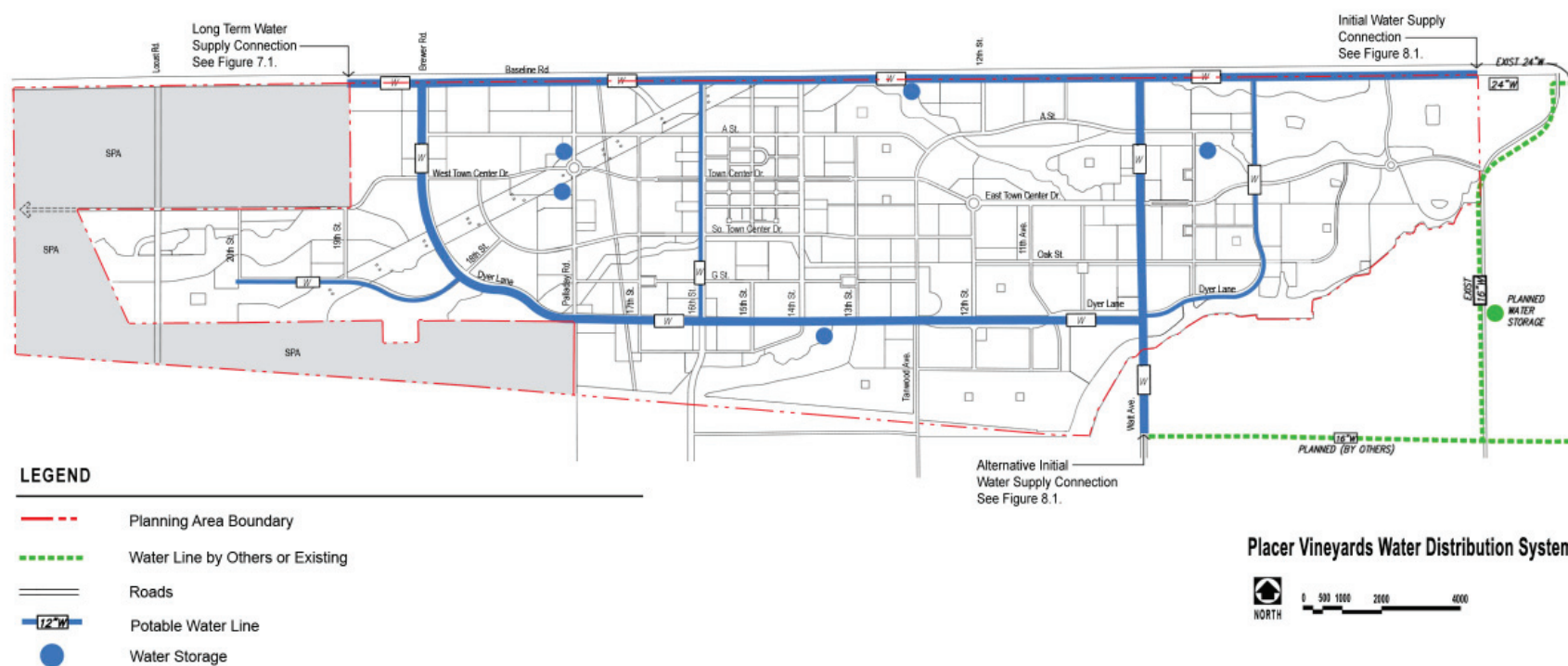
An option for the collection and treatment of wastewater from the 4,340 acre western area would be to send wastewater to the Sacramento Regional County Sanitation District (SRCSD) (see Figures 8.4 and 8.6). Under this option, sewage would flow via gravity, following the alignment of Sorrento Road, to the SRCSD Upper Northwest Interceptor at a point on Elkhorn Boulevard (Alternative A), or south from the Specific Plan area, following the alignment of Elwyn Avenue, west along Elverta Road, south along the alignment of West 6th Street, and connecting to the SRCSD Upper Northwest Interceptor at a point on Elkhorn Boulevard (Alternative B). Wastewater treatment would occur at the Sacramento Regional Wastewater Treatment Plant.

Figure 8.1 Off-Site Water Supply and Distribution System



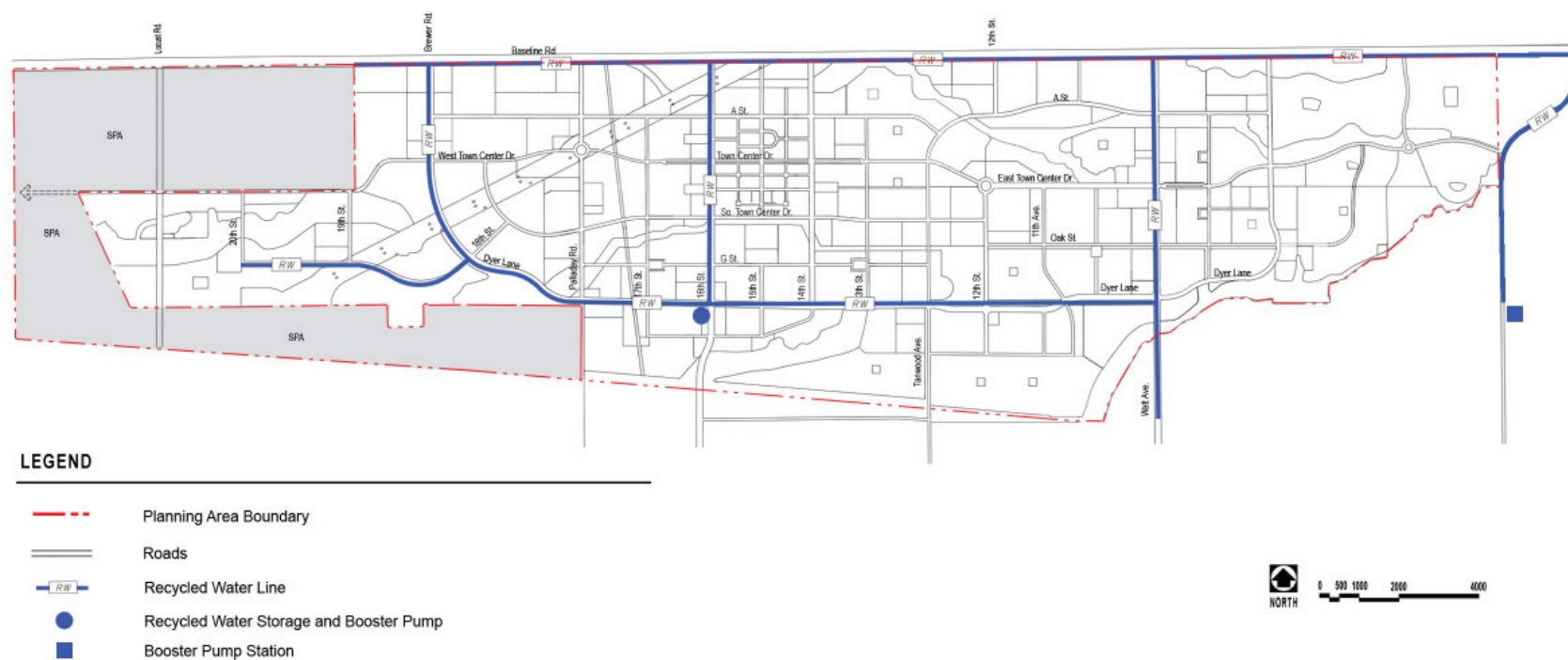
Source: Quad Knopf/ McKay & Soms 2005

Figure 8.2 On-site Water Supply and Distribution System



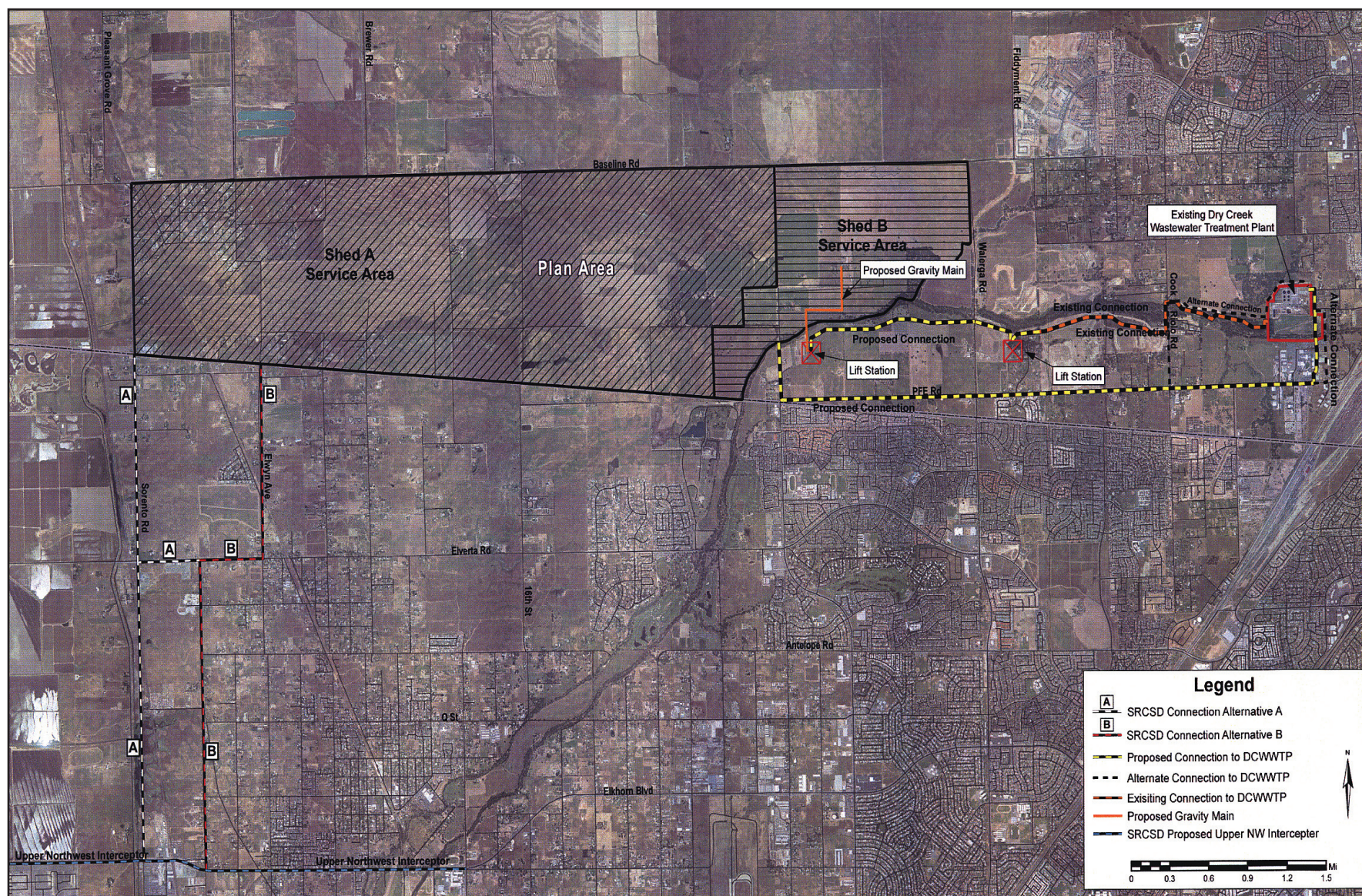
Source: McKay & Somps 2005

Figure 8.3 On-site Recycled-Water Distribution System



Source: McKay & Soms 2005

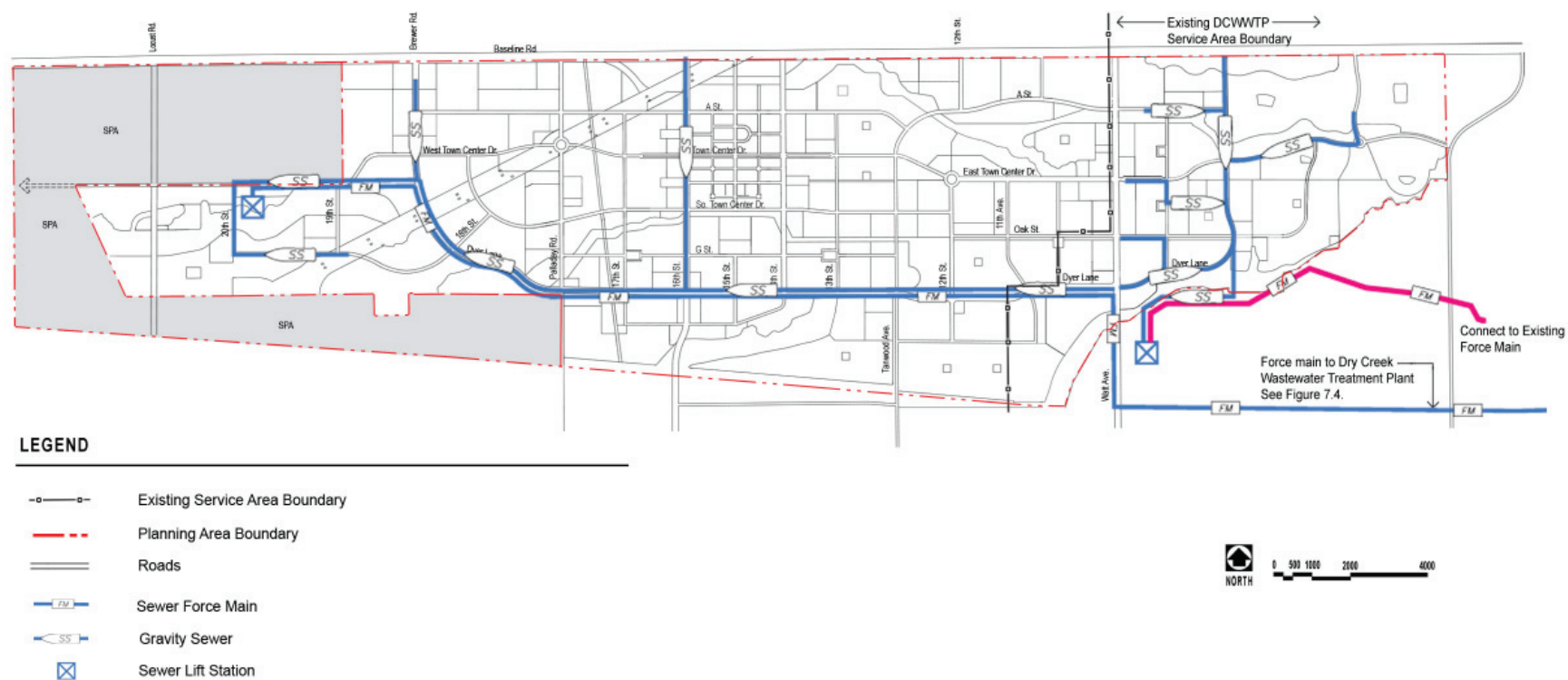
Figure 8.4 Off-site Wastewater Collection System



Source: Quad Knopf/ McKay & Soms 2005

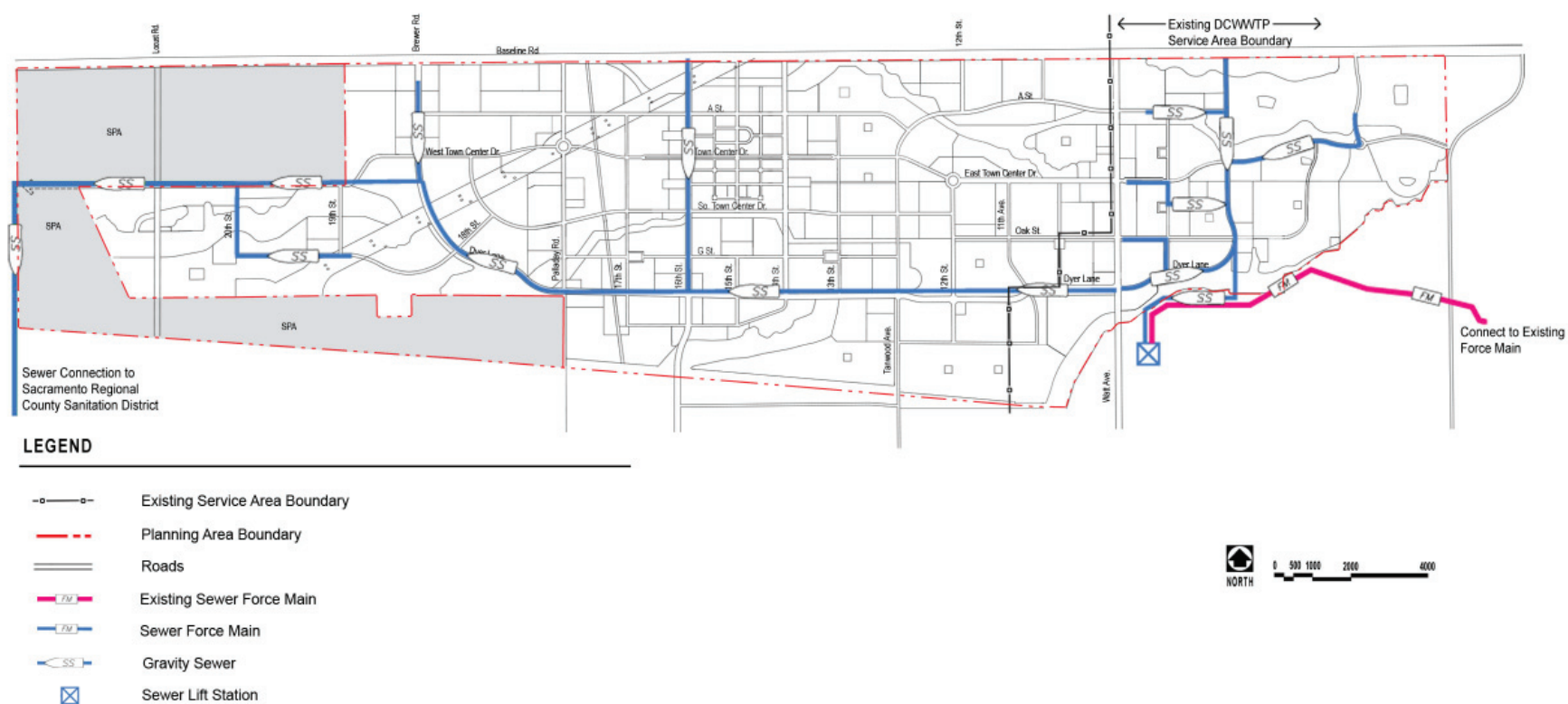
PUBLIC UTILITIES AND SERVICES

Figure 8.5 On-site Wastewater Collection System



Source: McKay & Soms 2005

Figure 8.6 Alternative On-site Wastewater Collection System



Source: McKay & Soms 2005

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8.2.3 DRAINAGE AND FLOOD CONTROL

The following section summarizes more detailed drainage information included in the Master Project Drainage Study (Civil Solutions 2005). The Placer County Flood Control and Water District and Department of Public Works establish the criteria for the construction and maintenance of drainage facilities. Requirements for the construction of drainage facilities are found in the Placer County Land Development Manual and Storm Water Management Manual.

Policy 8.4 Service Standards.

All Plan Area improvements shall be designed and constructed in accordance with standards listed in the Placer County Land Development Manual and Storm Water Management Manual.

Policy 8.5 Drainage Standards for Individual Projects.

Individual projects shall provide appropriate short- and long-term best management practices and source controls consistent with the land use.

Existing Conditions

The hydrologic characteristics in the Plan Area are largely affected by the seasonal rainfall, with the exception of Dry Creek. Dry Creek flows year round because of the size of its watershed, the discharge of ditch water from PCWA into creek tributaries, and the discharge of effluent water from the Roseville Sewer Treatment Plant. The Plan Area is divided into three major drainage sheds: Curry Creek, Dry Creek, and Steelhead Creek (formerly known as the Natomas East Main Drainage Canal [NEMDC]).

Dry Creek Watershed

The southeastern portion of the Plan Area drains directly to the Dry Creek floodplain. Drainage is carried through a number of small intermittent shallow swales and roadside ditches to Dry Creek without collecting at any one location.

Curry Creek Watershed

The northeast part of the Plan Area drains to Curry Creek, which is tributary to the NEMDC, which in turn is north of the Plan Area. The Curry Creek watershed is an intermittent drainage, with flows occurring only after rainfall in the area. Only about 240 acres of the Curry Creek watershed lie within the Plan Area.

Steelhead Creek Watershed

The remainder of the Plan Area drains through tributaries of Steelhead Creek, formerly known as NEMDC. The upper NEMDC watersheds occupy the majority of the Plan Area. Seven independent watersheds within the Plan Area drain from east to west and terminate at Steelhead Creek. Three watersheds drain into Sutter County, west of the Plan Area, and one watershed drains north across Baseline Road.

There are no distinct channels in any of the seven Steelhead Creek watersheds; drainage is carried west through the Plan Area via many shallow swales and roadside ditches. Water flows in these intermittent swales only after rainfall in the area.

Proposed Drainage Improvements

The Placer Vineyards drainage system is designed to discharge into channels and detention facilities, providing detention and retention of increased runoff volumes. Flood control within the Plan Area will consist of newly constructed channel systems and parallel flood control channels where avoidance areas are to be maintained. These facilities would generally follow or be placed along natural drainage courses. Other types of facilities include excavated lake areas, constructed wetland areas, and water quality basins and channels. Figure 8.7 identifies the location of existing drainage swales and major drainage improvements needed to serve the ultimate build-out of the Plan Area. Refer to The Master Project Drainage Study for more detailed information and the location of drainage improvements needed to serve Specific Plan build-out.

Drainage Design Criteria

- ♦ Open space corridors have been created in the Plan Area to convey stormwater flows. All development will occur outside of these corridors so as to provide 100-year flood protection to all residences.
- ♦ Piped drainage collection facilities of up to 96 inches in diameter will be used before open channels are chosen to convey urban storm runoff.
- ♦ Manage urban runoff through use of stormwater conveyance, detention, and water treatment facilities. Planned channel improvements should include components to mitigate adverse impacts on wetlands.
- ♦ When possible, increase the depth of existing drainage courses to accommodate the storm drainage collection.
- ♦ Vegetation proposed within the low-flow open channel(s) shall provide treatment of urban stormwater runoff.

PUBLIC UTILITIES AND SERVICES

Beaver Dam Management

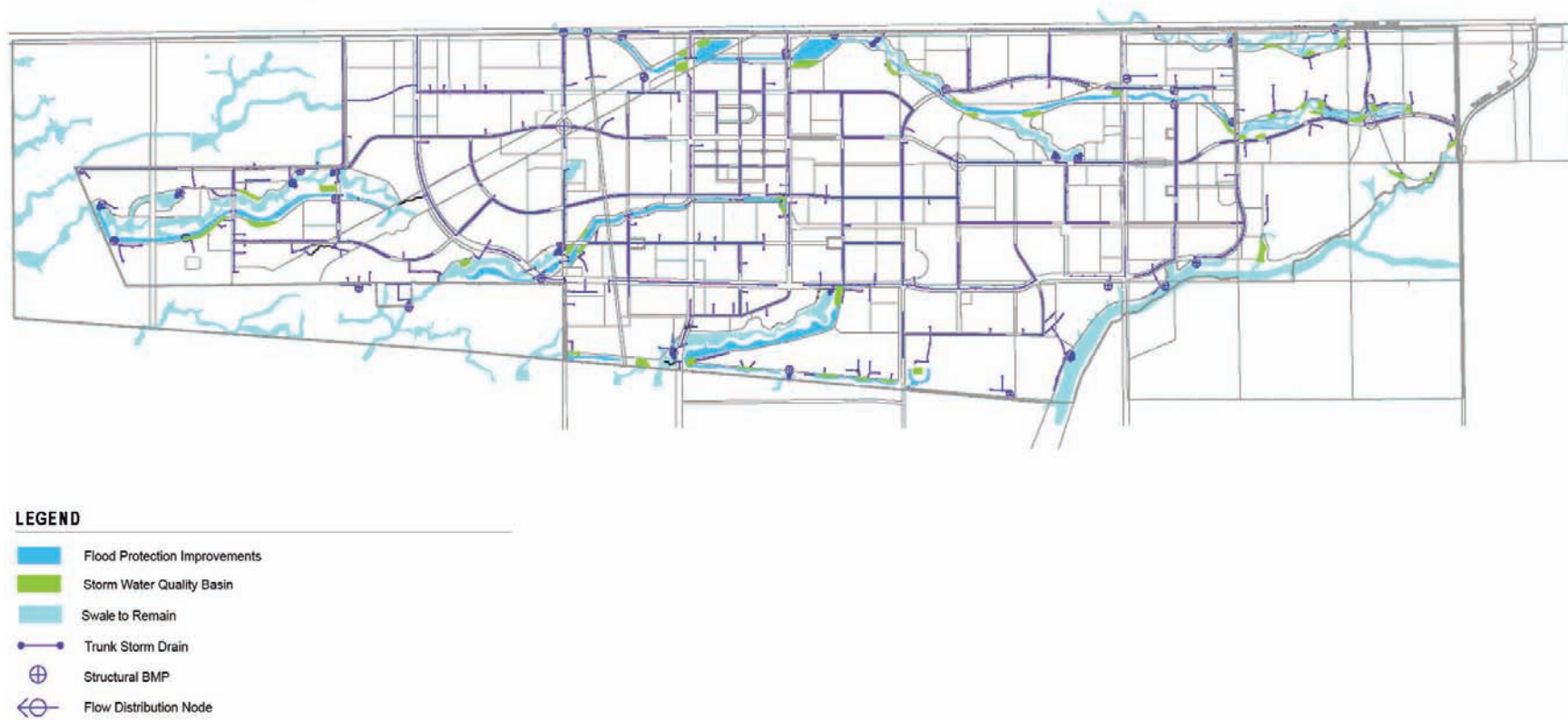
Beaver dams create problems when they create drainage backwater conditions. These impacts may be mitigated by the County when they interfere with utility operations, cause property damage, negatively affect certain natural resources (such as preserve areas, riparian and woodland vegetation), or present other health and safety issues.

Policy 8.6 Beaver Dam Management

When found to create a potential health and safety hazard, beaver dams shall be breached or removed according to procedures determined by the County, including proper disposal of vegetation and woody materials removed from beaver dams.

8.2.4 DISPOSAL OF SOLID WASTE

Solid waste generated by existing residents of the Plan Area is collected and disposed of by the Auburn Placer Disposal Service. After collection, solid waste is transported to the Western Placer Waste Management Authority's Materials Recovery Facility. Unrecyclable solid waste is disposed of at the adjacent Western Regional Landfill, which is anticipated to serve the needs of Placer County through the year 2036.

Figure 8.7 Drainage Plan System

Source: Civil Solutions 2005

PUBLIC UTILITIES AND SERVICES

8.2.5 ELECTRICITY AND NATURAL GAS

The Plan Area is located within the service area of two electrical utility companies, Sacramento Municipal Utility District (SMUD) and Pacific Gas and Electric Company (PG&E). The boundaries of each service territory are shown in Figure 8.8. Gas service will be provided to the Plan Area by PG&E.

Existing Electrical Service Lines and Substations

Three power line easement corridors cross the Plan Area. These are owned by PG&E, SMUD, and the Western Area Power Administration (WAPA). SMUD and PG&E own existing facilities and maintain numerous 12-kilovolt (kV) power lines in the Plan Area. These service lines are generally located along roadways and provide services to existing residences in the area.

The SMUD Black Eagle Crystal Ridge Substation is located in close proximity to the Plan Area, off of Black Eagle Drive and Watt Avenue. It is fed by a 69-kV line that extends west along PFE Road from the power line easement between Cook Riolo Road and Walerga Road. The substation is currently approaching capacity and will need to be increased in capacity and site area to be able to serve the Plan Area.

PG&E maintains two substations that serve the Plan Area. The Catlett Substation, located on Field Road just east of Natomas Road in Sutter County, feeds the circuit on Pleasant Grove Road. The Pleasant Grove Substation on Industrial Boulevard feeds the Fiddymont Road circuit. Both have the capacity to carry additional service loads.

New Electrical Service Lines

When the demand exceeds the load capacity, new 12-kV or 21-kV lines will need to be extended from existing or new substations. A location for a new electrical substation is set aside in the Placer Vineyards land use plan.

Existing Gas Service Lines

Several natural gas lines run north toward the Plan Area and stop short of the Sacramento County/Placer County line. A 12-inch high-pressure transmission main is located east of the intersection of Cook Riolo Road and Baseline Road, two miles east of the Plan Area.

New Gas Service Lines

Service will be obtained by constructing off-site gas transmission facilities to serve the Plan Area. Extension of gas mains to the individual project sites will be required. Connection to the 12-inch high-pressure transmission main at Cook Riolo Road and Baseline Road will require the construction of a pressure regulation station at the point

of connection. Initial service will be provided by extending a distribution main along Baseline Road and a transmission main along PFE Road. The Baseline Road main will function as a backbone main, serving the entire Plan Area at build-out. Smaller distribution mains will be stubbed off this backbone main and looped through the internal street system.

8.2.6 TELEPHONE/COMMUNICATIONS

The Plan Area is currently served by Sure West Communications and AT&T/ SBC.

Existing Telephone Facilities

Both AT&T/ SBC and Sure West own and maintain pole lines in the Plan Area; however, none of the existing facilities have reserve capacity available. Therefore, these facilities will need to be upgraded and placed underground.

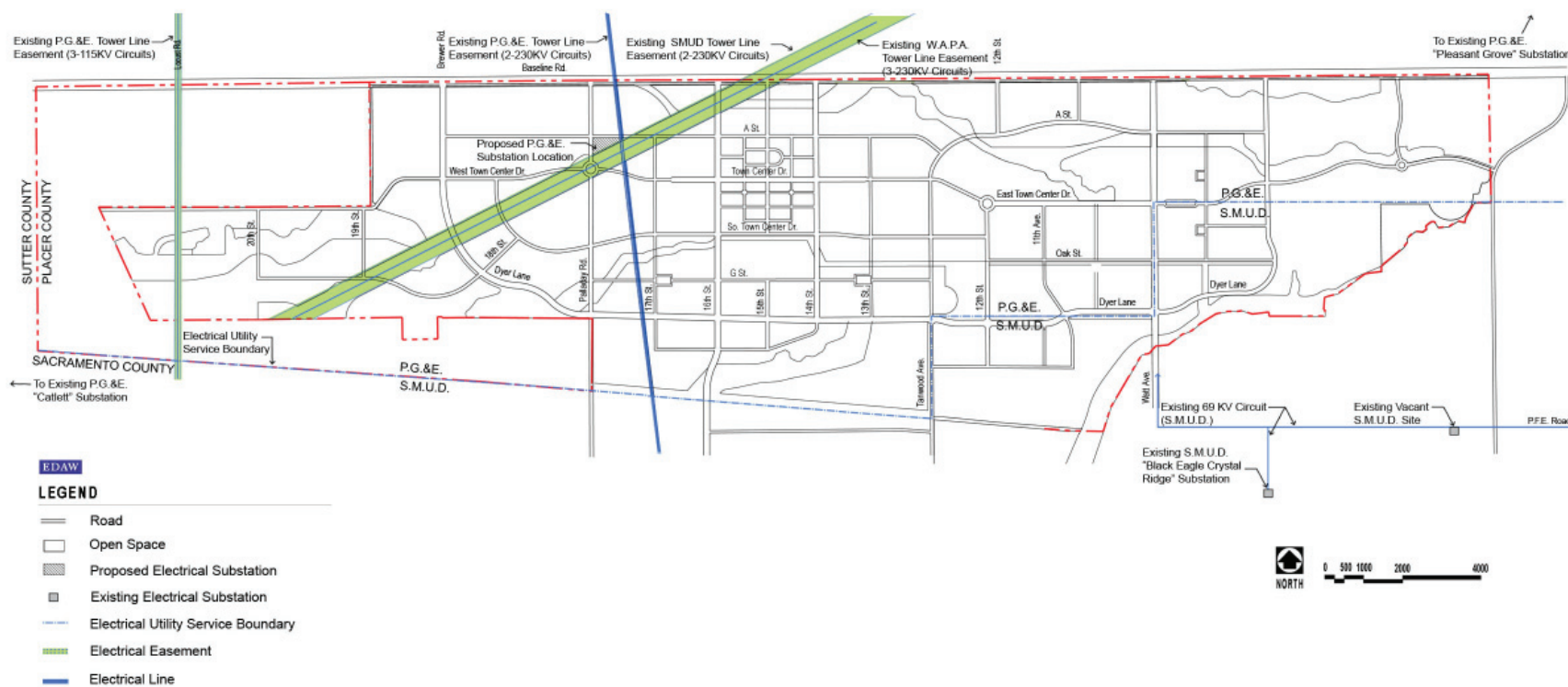
New Telephone Facilities

Fiber optic facilities owned by Sure West, approximately one-half mile east of the Plan Area, on Crowder Lane and Baseline Road will be extended into the Plan Area as development occurs. AT&T/ SBC also plans to extend its facilities into the Plan Area as development occurs. Within the Specific Plan area all telephone services will be constructed underground along road corridors.

8.2.7 CABLE TELEVISION SERVICE

No cable television service is currently available in the area and no cable television provider has a franchise for the area. Comcast has fiber optic infrastructure in the vicinity and, were it to enter into a franchise agreement with the County, it could provide service to the Plan Area. If that were to occur, cable would be extended west from the Roseville city limits along Baseline Road. Cable television will be phased with the construction of major roads. All cable facilities will be installed underground.

Figure 8.8 Electrical Distribution System



Source: Quad Knopf/ McKay & Somp 2005

PUBLIC UTILITIES AND SERVICES

8.3 COMMUNITY SERVICE FACILITIES

This section addresses community service facilities to support the residential population of Placer Vineyards, including schools, public safety facilities, and County service facilities. Parks and open space facilities are covered in Chapter VII. Details related to the funding and timing of community service facilities are included in the adopted Public Services Financing Plan.

Goal 8.8 Locate neighborhood facilities (neighborhood parks and elementary schools) generally central to each neighborhood so that such facilities are within one-half mile or less of a majority of neighborhood residents.

8.3.1 EDUCATION FACILITIES

The Plan Area falls within three school districts, as shown in Figure 8.9. Center Unified School District (CUSD), providing elementary and high school services, is located in the east portion of the Plan Area and the Elverta Joint Elementary School District and Grant Joint Union High School District are located in the west portion of the Plan Area and share the same district boundary line.

The existing school district boundaries were set before the development of this Specific Plan and fall in the middle of proposed neighborhoods in the Specific Plan. Figure 8.9 illustrates how this boundary line could be shifted to align with the center line of 16th Street and Dyer Lane to where it connects into Brewer Road. This boundary adjustment provides a logical neighborhood boundary, eliminating the need for adjacent neighbors to send children to different schools and would divide the land area and projected number of units approximately equal between different districts.

Student Generation and School Requirements

Demand for school facilities, sizing, location, and generation rates have been based on information provided by CUSD and state standards. Table 8-2 summarizes the anticipated numbers of students in the Plan Area and the number of schools needed based on the land use plan proposed for the Plan Area.

School Facility Sizes and Locations

Standard school sizes are generally 10 acres for elementary schools, 20 acres for middle schools, and 40 acres for high schools. Schools have been colocated with park sites to encourage the joint use of facilities.

School/ park sites serve as the focal point of each neighborhood, creating a central gathering place within a half-mile distance of most surrounding residences. Most schools are located near open space corridors to provide safe passage routes to schools. See Figures 8.10 and 8.11 for conceptual school layouts.

Table 8-2 School Enrollment Summary

Unit Type	Dwelling Units (du)	Elementary School (K-6) Student Generation Rate ²	Elementary School Population	Middle School (7-8) Student Generation Rate ²	Middle School Population	High School (9-12) Student Generation Rate ²	High School Population
Low-Density ¹	2,864	0.383	1,097	0.126	361	0.228	653
Medium-Density	6,266	0.383	2,400	0.126	790	0.228	1,429
High-Density	2,844	0.151	429	0.058	165	0.127	361
Commercial/Mixed-Use	844	0.151	127	0.058	49	0.127	107
Special Planning Area	411	0.383	157	0.126	52	0.228	94
Total	13,229		4,211		1,416		2,644
Total School Population			8,271				

Notes:

¹ Includes density bonus units from religious sites and excludes age-restricted units.² Student generation rates provided by Center Unified School District, October 2005

Figure 8.9 School District Boundaries

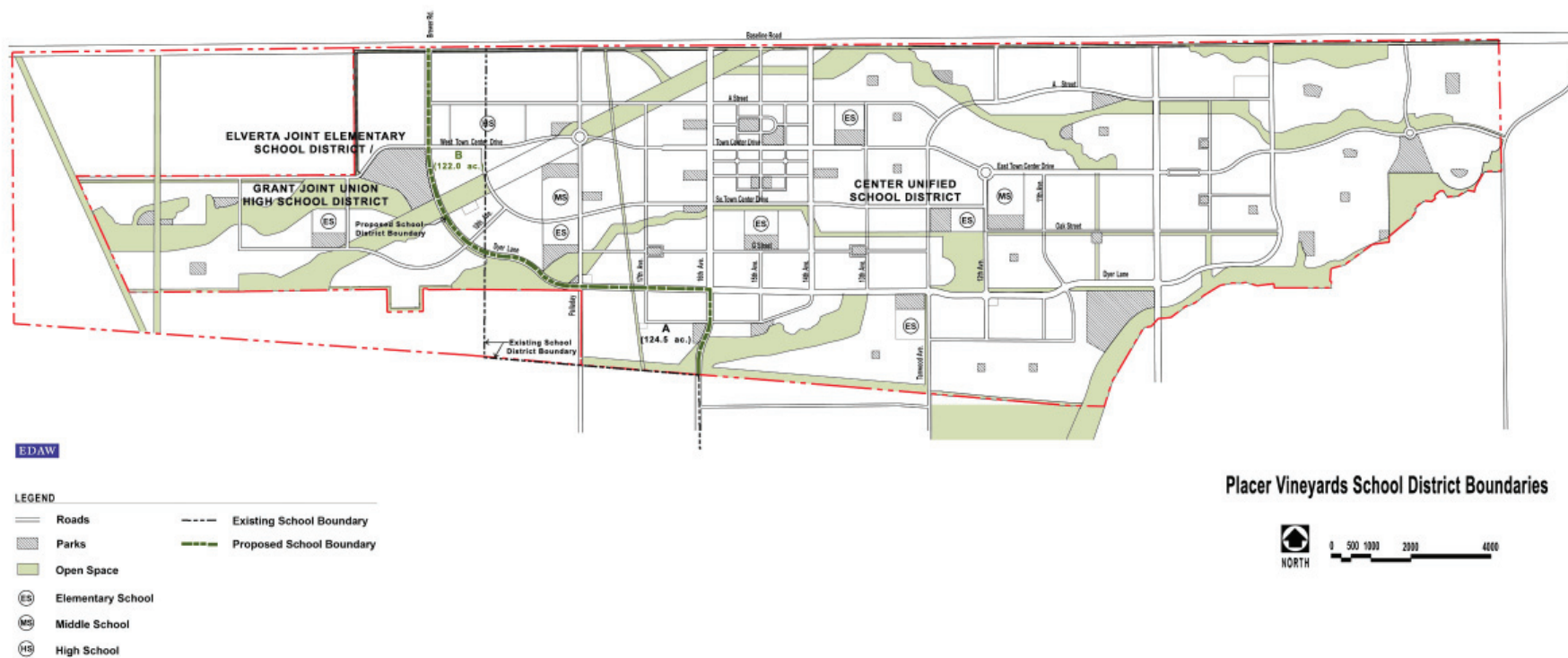


Figure 8.10 Conceptual Elementary and Middle School Site Designs

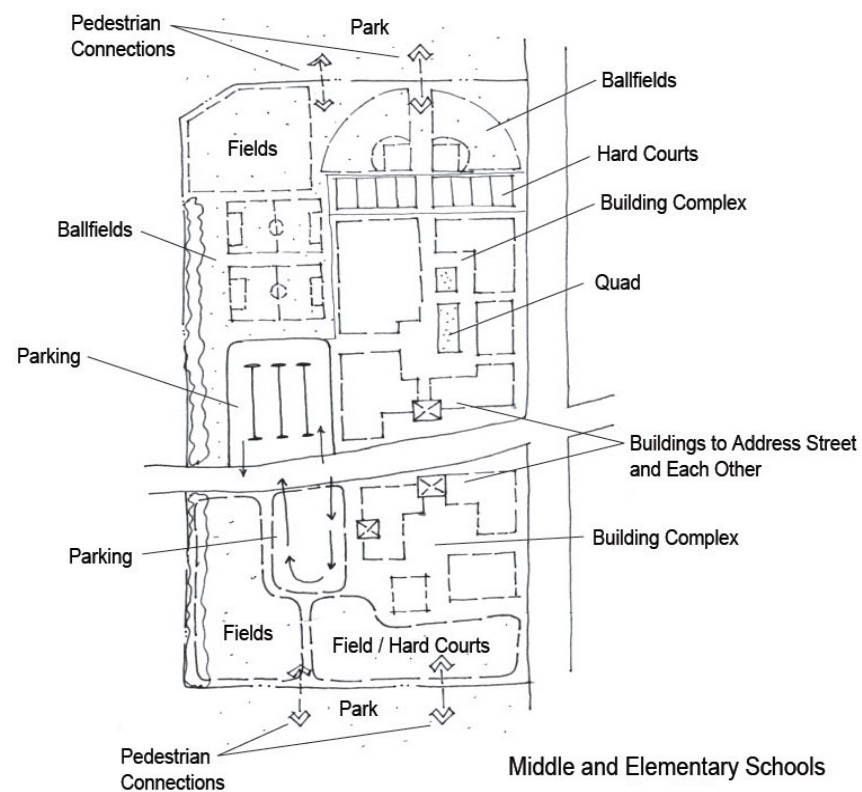
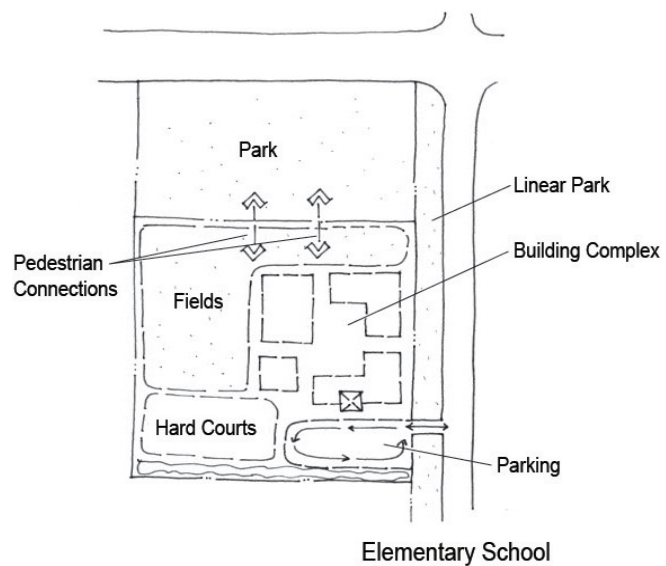
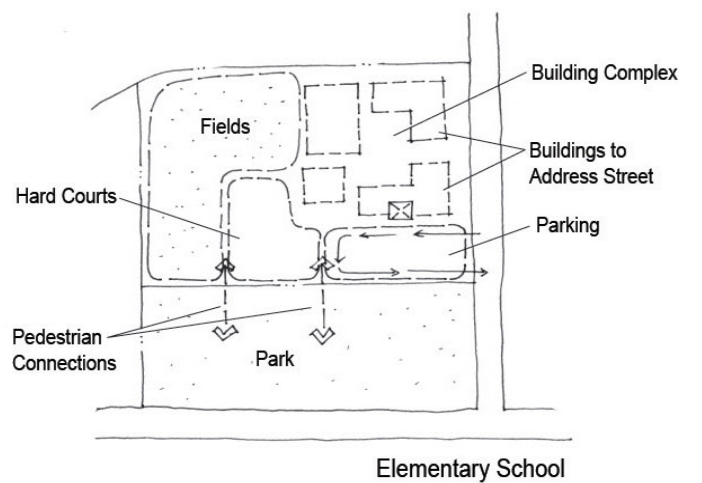
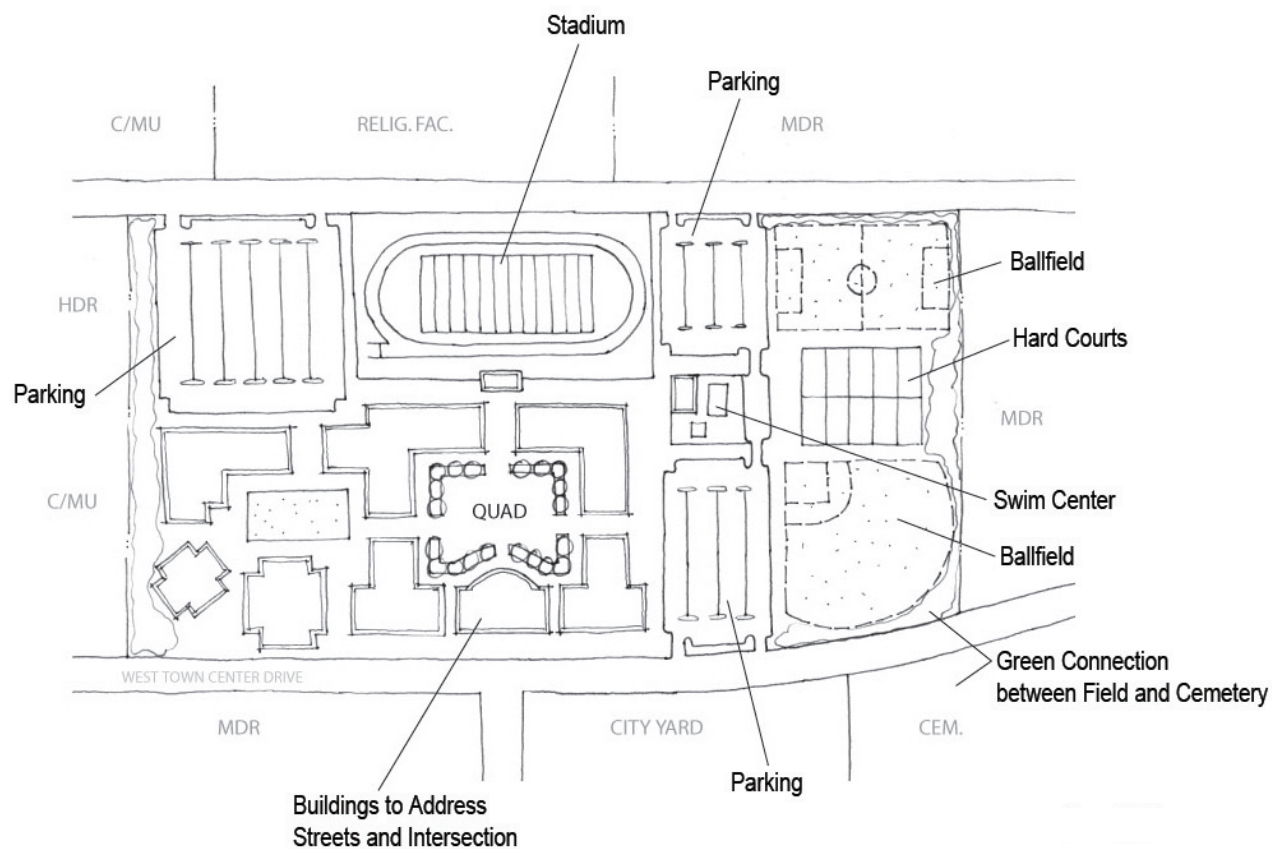


Figure 8.11 Conceptual High School Design



8.3.2 COMMUNITY FACILITIES

Planned County Facilities

Placer County uses a County Capital Facilities Fee (CFF) to mitigate the impacts of new development on County facilities. Collection of this fee will provide funding for improvements to an expansion of the County's finance and administration facilities, justice system, health and human services facilities, and public works facilities needed to maintain appropriate levels of service in the Plan Area.

Several satellite County facilities need to be located within the Plan Area to ensure that adequate general services are provided. These facilities and their respective locations in the Plan Area include:

- ♦ New government administration service offices and County Sheriff's Department substation (designated Gov in the Land Use Plan), to be located in the Town Center
- ♦ A corporation/ maintenance yard (designated CY in the Land Use Plan), planned and located on Town Center Drive a short distance from the Town Center, adjacent to open space buffers with some separation from the surrounding residential community
- ♦ Park shops for the County's Facilities Services Department, to be provided in each of the Community Parks

Planned Library Facilities

Libraries for the Plan Area are currently administered by the Auburn Placer County Library Department. Current residents of the Plan Area are served by a bookmobile that visits the area an average of twice a month. The closest existing library facility is the City of Roseville main library, located at 225 Taylor Street, off Walerga Road, approximately 3.5 miles away. A new community library of approximately 25,500 square feet is proposed to be located in the Town Center. Placer Vineyards will pay for its fair share of the costs for the construction of the library facility.

Cemetery

A cemetery is proposed for the Plan Area. Part of this facility is located below the corridor for power line easement.

8.3.3 PUBLIC SAFETY FACILITIES

Existing Fire Protection

Fire protection is currently provided by the Placer County Fire District (PCFD), with the exception of the western portion of the Plan Area, which is served by the Sacramento Metropolitan Fire District. Primary response to emergency calls from the Plan Area is currently handled by the PCFD Dry Creek Fire Station east of the Plan Area on Cook Riolo Road.

Planned Fire Protection

Analysis of the necessary stations, equipment, staffing, and response time has been performed by PCFD staff. Two new PCFD stations and an administrative center are anticipated to serve the Specific Plan Area. The fire administrative center is to be co-located with other County administrative offices in the Town Center. The planned locations for these fire stations are shown on the land use diagram (Figure 3.1). The first fire station shall be constructed and equipped to serve the Plan Area prior to the issuance of a building permit for the first dwelling unit, located to the west of Watt Avenue. The second fire station shall be timed to serve the Plan Area, as specified in the Placer Vineyards Financing Plan.

Existing Law Enforcement Services

Existing law enforcement services are provided by Placer County Sheriff's Department and traffic enforcement is provided by the California Highway Patrol. The nearest sheriff's substation is located in Loomis at the intersection of Horseshoe Bar Road and Interstate 80.

Planned Law Enforcement Services

Law enforcement for the Plan Area would be provided by the Placer County Sheriff's Department. Analysis of the necessary stations, equipment, staffing, and response times has been performed by Sheriff's Department staff. A sheriff's substation site, as shown in the land use diagram (Figure 3.1), is proposed for co-location with other County administrative offices within the Town Center.

CHAPTER IX: IMPLEMENTATION



9.1 OVERVIEW

Context

This chapter outlines the methods by which the Specific Plan will be implemented, and includes a discussion of administrative procedures, sequencing of development, and financing. California Government Code Section 65451 and Placer County Zoning Ordinance Section 17.58.200, require that specific plans include a program of implementation measures including regulations, programs, public works projects, and financing measures needed to carry out the proposed land use, infrastructure, development standards, and criteria outlined in the Specific Plan.

Placer Vineyards is projected to be built over a 20- to 30-year time frame. Thus, the implementation policies are intended to ensure that, over time, implementation will be comprehensive, coordinated, and responsive to changing circumstances and market conditions. The objective of this section is to ensure that infrastructure and community facilities are constructed in a timely manner, concurrent with the provision of housing and other land uses.

The remainder of this chapter is divided into three sections: “Administrative Procedures,” which addresses the density transfer program for religious sites among other topics; “Development Sequencing”; and “Public Facilities Financing Plan.”

Section 9.2, “Administrative Procedures,” identifies the procedural steps in implementing the Specific Plan and discusses the subsequent approvals necessary to begin construction of individual projects and subdivisions, as well as modifications and amendments to the Specific Plan. Under the density transfer program for religious sites, discussed in Section 9.2.7, “Transfer of Density,” density incentives are provided to owners who accommodate religious facilities on lands designated for religious uses in the Placer Vineyards Specific Plan. Section 9.3, “Development Sequencing,” describes the process and sequence of infrastructure and facilities to serve the Plan Area over time. Section 9.4, “Public Facilities Financing Plan,” describes the financing methods which will allow development to proceed in an orderly and fiscally responsible manner.

Refer also to the applicable chapters of the Specific Plan for the following information:

- ♦ Chapter I, “Introduction,” for the framework of the Specific Plan and its relationship to other documents and regulatory approvals
- ♦ Chapter III, “Land Use,” for land use regulations and development standards
- ♦ Chapter IV, “Environmental Resources,” for the protection of site resources

- ♦ Chapter V, “Transportation and Circulation,” for design standards for roadways, trails, and transit systems
- ♦ Chapter VII, “Parks and Open Space,” for a discussion of the parks and open space system
- ♦ Chapter VIII, “Public Utilities and Services,” for an overview of the backbone of infrastructure systems and public services required to serve the Plan Area



Refer also to the Master Project Drainage Study for more detailed information on backbone infrastructure systems, and to the Public Facilities Financing Plan for information on financing mechanisms.

9.2 ADMINISTRATION PROCEDURES

9.2.1 SPECIFIC PLAN APPROVALS

The following actions are anticipated to occur concurrent with the adoption of this Specific Plan.

- ♦ **Final Environmental Impact Report (FEIR):** The County Board of Supervisors will certify the FEIR addressing this Specific Plan and any necessary amendments to the Placer County General Plan and/ or Dry Creek/ West Placer Community Plan.
- ♦ **Zoning:** The Board of Supervisors is also expected to approve the Specific Plan zoning designations (see Section 9.2.2 below).
- ♦ **The Development Agreement:** Property owners will enter into development agreements with the County. The Development Agreements will set forth property owners’ obligations related to the construction and financing of infrastructure and public services, including financial contributions for infrastructure maintenance and other obligations that may be imposed by the County as a condition of development. The Development Agreements will vest the property with the right to proceed to development subject to the limitations and obligations of the Development Agreement and the Specific Plan.

IMPLEMENTATION

- ♦ **Public Facilities Financing Plan:** The County Board of Supervisors is anticipated to approve this plan, which will identify the funding mechanisms required for the capital costs of all infrastructure necessary to accomplish Plan build-out. The plan will also identify funding for the maintenance of new infrastructure and public services needed by future residents and businesses.
- ♦ **Large-Lot Tentative Map(s).** The Board of Supervisors is expected to approve large-lot tentative map(s) that may have been filed for all or a portion of the Plan Area. These maps shall show existing conditions and the designs and improvements to a property, including arterial and collector street rights-of-ways, open space corridors, park and school sites, and the boundaries between different land uses. The map(s) may also serve as the means by which assignment of the cost burdens of the Specific Plan will be accomplished.

After the approval of the Specific Plan and before the approval of tentative maps for the first development project, the following actions are anticipated to occur.

- ♦ **Approval of a Landscape Master Plan.** This plan shall address the design of the streetscape, landscape corridors adjacent to streets, landscaped buffer areas, other open space areas, community entries, street lights and other image features that help establish the landscape and streetscape character of the community
- ♦ **Approval of a Parks and Recreation Master Plan.** This plan shall identify the facilities for each park site or recreation facility and shall include a detailed development plan for the type of equipment and updated cost estimates for each park site. It shall also establish the design themes for the parks that complement the designs of the Landscape Master Plan.

9.2.2 SPECIFIC PLAN AREA ZONING

The County has put in place a new zoning classification, known as a “Specific Plan” (SPL) zone district, that are to be applied to all Specific Plan projects. The SPL district is to be combined with the Specific Plan to function as the zoning text and map for the urban portion of the Placer Vineyards Specific Plan Area. The rezoning will identify the new SPL zone district (with the prefix SPL-), then the descriptor used in the Placer Vineyards Specific Plan (-PVSP), and followed by the associated land use designations, resulting in a zoning classification such as SPL-PVSP-LDR.

The approximately 4,250-acre urban portion of the Plan Area will be rezoned from the existing rural zoning classifications (described in Chapter I, “Introduction”) to the new designations described above. The remaining approximately 979 acres constitutes the Special Planning Area (SPA) portion of the Specific Plan. Refer to Section 9.2.6 D for the procedures regulating the SPA area.

9.2.3 DEVELOPMENT STANDARDS

The “Land Use and Development Standards” in Appendix A of this Specific Plan shall be adopted by ordinance, will replace the Placer County Zoning Ordinance, and will serve as the use regulation and zoning for the Specific Plan. These standards shall govern development, improvements, and construction within the Plan Area and supersede conflicting standards in the Placer County Zoning and Subdivision Ordinances and/or Land Development Manual.

Refer to Appendix A for more details governing land use and development standards, requesting changes or amendments to uses or development standards, and the enforcement of these development regulations. Also as a part of project implementation, development notebooks are required for all subdivision projects. The Development Notebook details the development standards for each lot proposed within the subdivision (i.e., all dimensions, easements, setbacks, height limits, and other restrictions which might affect the construction of structures on the lot). No Building Permits may be issued for the project until this Notebook is provided to and accepted by the Design Review Committee for format and content.

Upon County approval of the Development Notebook, the applicant shall provide four copies of the final notebook for distribution to the Planning Department, Department of Public Works, Department of Environmental Health and Air Pollution Control Department for their use in issuing building permits.

9.2.4 SUBSEQUENT ENTITLEMENT PROCESS

Development within the Plan Area is subject to approval of subsequent entitlements by the County. Examples of such entitlements include tentative subdivision maps, Specific Plan amendments, conditional use permits, minor conditional use permits, tree permits, design/ site review applications, and building and grading permits. Individual project applications will be reviewed to determine consistency with the Specific Plan and other regulatory documents and guidelines.

Individual development projects within the Specific Plan are subject to review and approval of subsequent permits and entitlements by the County. Application and processing requirements shall be in accordance with the Placer County Zoning Ordinance and other regulations, unless otherwise modified by this Specific Plan. All subsequent development projects, public improvements, and other activities shall be consistent with this Specific Plan, the Specific Plan Development Agreements, and all applicable County policies, requirements, and standards. In acting to approve a subsequent project or permit, the County may impose reasonable and necessary conditions to ensure that the project is in compliance with the Specific Plan and all applicable plans, ordinances, and regulations.

Application Requirements

Once the Specific Plan and, if requested, large-lot tentative maps are approved, individual developers may submit applications for tentative maps and/ or other entitlements as necessary. Applications shall be made in writing on forms provided by the County Planning Department, and shall be accompanied by such data and information as may be prescribed for that purpose.

The applicant will be advised of any application deficiencies that must be rectified to deem an application complete. If the applicant or County Planning Department decides that an amendment to the Specific Plan is warranted, an amendment to the Specific Plan may be requested. The request for an amendment must provide adequate justification for proposed changes. For specified amendment procedures, refer to Section 9.2.6, “Interpretations, Nonconforming Uses, and Amendments.” Individual property owners or groups of property owners may negotiate Development Agreements and seek approval of bond financing with the County.

Owners of parcels that have already been subdivided, and for which no other/additional discretionary entitlement or site plan/design review is required, may submit applications for building permits.

Application Processing

Applications will be analyzed by County staff members for consistency with the Specific Plan, and a site plan/ design review will be performed if necessary. It should be anticipated that for most projects this will be a staff-level consistency review. A determination as to the appropriate level of review will be made by the Planning Director based on applicable regulations and/or the characteristics of the project. Plan consistency must be demonstrated in several ways:

- ♦ Consistency with policy language (goals, policies, objectives, etc.)
- ♦ Consistency with land use designations, roadways, and bike paths
- ♦ Consistency with development standards and design guidelines
- ♦ Consistency with figures and tables
- ♦ Consistency with the property Development Agreement, large-lot tentative map, and other relevant implementation documents

With regard to policy consistency, the Specific Plan policies should be read and applied in the context of the policy framework established by the Placer County General Plan. Specific Plan policy interpretations shall be subservient to any relevant policy

interpretation of the General Plan, and shall be made in light of the relevant policies of the General Plan. The General Plan pre-empts the authority of the Specific Plan in terms of policy hierarchy.

Consistency is also required with the Specific Plan Mitigation and Monitoring Program, infrastructure plans and other implementing documents of the Specific Plan, and the Public Facilities Financing Plan.

9.2.5 ENVIRONMENTAL REVIEW

All applications for a development entitlement that are submitted after approval of the Specific Plan shall be reviewed for conformity with the Specific Plan and for compliance with the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq. An environmental impact report (EIR) will be certified concurrent with the approval of the Specific Plan and shall serve as the base environmental document for subsequent entitlement approvals within the Plan Area.

The rules governing the extent of any future environmental review are set forth in California Government Code Section 65457 and Section 15182 of the State CEQA Guidelines. Under these sections of the State CEQA Guidelines, if a public agency has prepared an EIR on a specific plan, no additional environmental document is necessarily required for approval of a residential project that is undertaken in conformity with the specific plan. Moreover, under Section 15183 of the State CEQA Guidelines, no additional environmental review is required for projects that are consistent with the zoning for which an EIR was certified, except as might be necessary to examine whether there are project-specific effects that are peculiar to the project or its site.

The statutory process is normally not applicable for nonresidential projects. However, given the project level of analysis contained in the Specific Plan EIR, nonresidential projects consistent with the approved Specific Plan and EIR may also avoid formal CEQA review.

The determination of whether the requested subsequent development entitlement is consistent with the Specific Plan and whether the Specific Plan EIR considered the project-specific effects will be made through the Subsequent Conformity Review process as described below.

Subsequent Conformity Review Process

In addition to submitting any required County application for approval of a subsequent development entitlement within the Specific Plan Area, the applicant for each proposed project shall complete a Subsequent Conformity Review Questionnaire. The purpose of the questionnaire will be to enable the County to determine whether the proposed

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project is consistent with the Specific Plan and to examine whether there are project-specific effects that are peculiar to the project or its site that were not considered in the Specific Plan EIR or whether an event as described in Section 15162 of the State CEQA Guidelines has occurred. The County may require additional information to make such a determination, including but not limited to the following:

- A. Preliminary Grading Plan (including off-site improvements)
- B. Preliminary Geotechnical Report
- C. Preliminary Drainage Report
- D. Preliminary Water Quality Best Management Practices (BMP) Plan
- E. Traffic Circulation Plan
- F. Traffic Study
- G. Tentative Map (Section 16.12.040 of the Placer County Code)
- H. Acoustical Analysis (and associated Transportation and Circulation Studies)
- I. Hazards/ Past Use Studies (Phase I Environmental Site Assessments and Phase II limited soils investigation, and/or Preliminary Endangerment Assessment with California Department of Toxic Substances Control as determined by County Environmental Health Services)
- J. Mosquito Control Design Features (for waterways, underground water detention structures, water facilities, etc.)
- K. Water Quality Related Studies/ Details (BMPs, Preliminary Grading Plan, Preliminary Drainage Plan)
- L. Utility Will-Serve Requirement Letters (water, sewer, solid waste, reclaimed water, etc.)
- M. Senate Bill (SB) 221 Water Supply Assessment Information
- N. Hazardous Materials Usage Information
- O. Water Supply Well Information (as applicable)
- P. On-site Sewage Disposal Studies/ Information (as applicable)
- Q. Biological and Cultural Resources Study
- R. Public Safety Assessment

Based on the provided information, the County will determine whether the proposed development entitlement is consistent with the Specific Plan, whether additional environmental review is required, and if so, the scope of such additional review. Based on the content of future submittals and the process described above, the County will determine whether performance standards are still achievable given the nature of the submittal, current conditions, and/or changed circumstances. In the event that the performance standards do not appear to be achievable, the County may perform subsequent environmental review pursuant to Sections 15162, 15163, or 15164 of the State CEQA Guidelines to identify additional or alternative mitigation measures.

Mitigation Monitoring

CEQA requires all state and local agencies to establish reporting and monitoring programs for projects approved by a public agency whenever the approval involves adoption of either a “mitigated negative declaration” or specified environmental findings related to EIRs.

The Mitigation Monitoring and Reporting Program is intended to satisfy the requirements of CEQA as they relate to the FEIR for the Placer Vineyards Specific Plan. This monitoring program is intended to be used by County staff and the project developers to ensure compliance with adopted mitigation measures during project implementation. Monitoring and documentation of the implementation of mitigation measures will be coordinated by County staff according to Article 18.24 of the Placer County Environmental Review Ordinance.

9.2.6 INTERPRETATIONS, NONCONFORMING USES, AND AMENDMENTS

Implementation of the Specific Plan is anticipated to occur over several years. During the long-term buildout of the Plan Area, property owners will face dynamic and evolving market conditions. Situations may arise where amendments to the adopted Specific Plan are necessary because of changing circumstances. Additionally, because of unforeseen circumstances, some design guidelines or development standards may not be feasible on a parcel-by-parcel basis. An alternative design solution that meets the goals and objectives of the Specific Plan may also be developed.

A. Interpretations

Interpretations are judgments that apply the vision, goals, and intent of the Specific Plan to specific issues and situations related to the land use decisions and development. Interpretations are generally limited to details where the

requirements and guidelines of this Specific Plan may appear to provide alternative guidance and differ from each other or from other adopted County policies, or requirements of other agencies. Interpretations may be needed when the County is considering discretionary development applications (such as a subdivision map), or a ministerial application (such as a building permit). Interpretations for the Specific Plan shall be made as described in Section 17.02.050 of the Placer County Zoning Ordinance. In making interpretations, the Planning Director will consult with any other affected County department or other agency as needed.

B. Nonconforming Uses

Refer to Section 17.58.120 of the Placer County Zoning Ordinance for the procedures to follow to continue, change, or replace a non-conforming use.

C. Amendments

Amendments to the Specific Plan are changes to the plan elements, including differences in land use development types assigned to specific parcels; changes to capacity requirements; changes to the intensity or density of land uses on specific parcels (including public facilities); density transfers; changes in the Plan Area boundaries; or changes in policies. Amendments usually involve issues of consistency with the original vision and intent of the Specific Plan or with the Placer County General Plan. Amendments will follow existing County regulations and procedures. Amendments to the adopted Specific Plan shall be categorized by the County Planning Director as either a Major Amendment or an Administrative Modification.

Proposed amendments to the Specific Plan can include but are not limited to changing land use designations, development standards, design criteria, detailed road alignments, road classifications, or Specific Plan policies. Typically, amendments to a Specific Plan will be requested by property owners. There may also be circumstances, however, where the County may wish to request an amendment. In these situations, the procedures described below will be followed to amend the adopted Specific Plan.

Amendment Requests

All requests to amend the Specific Plan shall be made using the appropriate application forms, required documentation, and applicable fees as established by the County Planning Department. Any or all of the following information may be required:

1. A detailed justification statement that explains in detail why an amendment to the Specific Plan is warranted, and any exhibits deemed necessary by the Planning Director.

2. A statement of consistency with Placer County General Plan policies and land use designations.
3. A statement of consistency with the Specific Plan.
4. Analysis as required by CEQA.
5. Identification of any required modifications of the public infrastructure improvements that are not currently mandated by the Specific Plan; i.e., description, location, timing, funding source and method, etc.

Major Amendments (Specific Plan Amendments)

A Major Amendment is any change proposed to the Specific Plan that could significantly increase environmental impacts or other changes determined to be significant by the Planning Director. A Major Amendment is the appropriate procedure where changes to the Specific Plan are proposed that meet one or more of the following criteria:

- ♦ A new category of land use not specifically discussed in the Specific Plan is introduced.
- ♦ Significant changes to the distribution of land uses beyond those allowed under Minor Density Adjustments or other changes affecting land use are proposed and may substantially affect the Specific Plan.
- ♦ Proposed changes to the design guidelines and/or development standards, if adopted, would substantially change the physical character of the Plan Area as envisioned by the Specific Plan and as determined by the Planning Director.
- ♦ Proposed changes to the approved Phasing Plan would significantly increase or alter Plan Area boundaries or units allocated by the proposed phasing schedule.

Major Amendments require approval by the County Planning Commission and Board of Supervisors. They shall comply with the procedures outlined in Section 17.60.090 of the Placer County Zoning Ordinance.

Administrative Modifications

Administrative Modifications do not have a significant impact on the character of the Plan Area. Administrative Modifications are consistent with the spirit and intent of the vision, goals, and policies of the Specific Plan. They shall conform to the following criteria:

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- ♦ The Planning Director determines that the proposed adjustments to the development standards or design guidelines are offset by the merits of the proposed design and do not significantly change the anticipated physical characteristics, goals, and intent of the Specific Plan.
- ♦ Proposed changes to the alignment of arterial and local streets, if adopted, would not substantially alter the land use or circulation concepts set forth in the Specific Plan.
- ♦ Proposed changes to land use diagram shapes or to the alignment of collector and secondary streets maintain the general land use pattern and/or provide an improved circulation system consistent with the intent and direction of the vision, goals, and policies of the Specific Plan.
- ♦ The proposed change is not expected to increase environmental impacts beyond the levels identified in the EIR.
- ♦ The proposed change will not result in an increase in the total maximum number of units proposed in the Specific Plan and will comply with the criteria for modification of the land use diagram and minor density adjustments described in Policy 9.1.
- ♦ The proposed change will not significantly reduce the number of acres designated for high density residential.

An Administrative Modification may be reviewed and acted upon by the County Planning Director or Zoning Administrator. No Planning Commission or Board of Supervisors review is required, unless the Administrative Modification is appealed.

Policy 9.1 *Modification of the Land Use Diagram.*

Figure 3.1, "Land Use Diagram," is intended to provide the structural framework for the land use program within Placer Vineyards. Land use shapes may be modified or reconfigured on site plans and designs through the Subsequent Conformity Review process and Administrative Modification process without an amendment to the Specific Plan so long as they comply with the following criteria:

- ♦ *The Planning Director has determined that the proposed residential project is consistent with the Specific Plan approved and with land use patterns and assumption analyzed in the Specific Plan EIR.*
- ♦ *The density of development does not exceed the permitted range of the land use designation and the allowable number of units is not exceeded by each property within the Plan Area.*

D. Amendments in the Special Planning Area

This Specific Plan does not revise or designate zoning for the SPA properties. Within this area, existing County zoning and administrative processes govern. Entitlements requested in the SPA shall be governed by one of the following tracks:

1. A total of 63 additional units may be developed within the SPA under current zoning. Property owners that deviate from current zoning regulation are subject to the requirements of the Placer County Zoning Ordinance and may also be required to do additional environmental review.
2. An additional 198 units may also be developed under the Placer Vineyards Specific Plan and the Specific Plan EIR on a first-come, first-served basis. Property owners allowed to develop under the pool of 198 units permitted under this Specific Plan and Specific Plan EIR will be required to connect to Plan Area infrastructure systems. Property owners who choose to subdivide their properties beyond that allowed under current zoning in the SPA will be required to submit a Major Amendment application and perform additional environmental review.
3. After the 198 units allowed under the Specific Plan are granted and recorded, any property owner who chooses to develop within the SPA will be required to submit an amendment to the Placer County General Plan, a Major Amendment application, and may also be subject to additional environmental review.

Public infrastructure systems (i.e., water, sewer, drainage) shall be sized to accommodate the additional 261 new units in the SPA (there are 150 existing units). Property owners in the SPA may hook up to public infrastructure systems in the Plan Area but shall be responsible for any fees for the extension of services to their property, any hook-up fees, and any Plan Area or Special District fees that apply to the Placer Vineyards Plan Area. Developers of properties west of Dyer Lane which abut the eastern boundary of the SPA Area shall be required to stub water and sewer mains of a size adequate to serve the SPA area to their western project boundary and shall provide any necessary easements to accommodate this infrastructure. The specifics as to the number, location and timing of such extensions shall be established at such time as subdivision tentative maps are approved for these properties.

E. Minor Density Adjustments

As Tentative Subdivision Maps and detailed engineering plans are prepared, the actual number of acres and maximum number of units for each land use area may vary slightly from that shown on the Land Use Plan. These changes in the number of units may result from the final alignment of roadways, drainage areas, easements, and boundaries with more refined mapping, detailed site surveys, or other detailed site information, or even from market conditions. It is the intent of the Specific Plan to permit flexibility in adjusting the number of residential units allocated to the various residential and mixed-use areas in these situations. Any resulting increase or decrease in density that occurs as a result of the application of this section is deemed consistent with the Specific Plan as long as the total number of dwelling units within the Plan Area equals 21,631.

9.2.7 TRANSFER OF DENSITY

Density Transfer for Housing Units

To further the intent of providing development flexibility, units assigned to specific properties may be transferred between development land use parcels, provided that all the following criteria are met:

- ♦ The sending and receiving parcels are within the Placer Vineyards Specific Plan Area and the total maximum number of approved units for the entire Plan Area equals 14,132.
- ♦ The minor density adjustment does not increase or decrease the number of units allocated to any one receiving parcel (or combination of receiving parcels) by more than 20%.
- ♦ The sending and receiving parcels have an existing land use designation of Low Density Residential (LDR), Medium Density Residential (MDR), High Density Residential (HDR), or Religious Site (REL), and the density adjustments would not result in densities above or below those for the existing land use designation.
- ♦ Commercial/ Mixed-Use (C/MU) units may not be transferred.
- ♦ Units may not be transferred to the Special Planning Area.
- ♦ The transfer of units would not result in increased impacts beyond those identified in the Placer Vineyards EIR.
- ♦ The adjustments in density and units would not significantly affect planned infrastructure, roadways, schools, other public facilities, or Plan Area assessment districts.

- ♦ The transfer of units would not result in a reduction in the total number of HDR units of the sending plus the receiving property. (For example, if the total of the sending parcel's HDR units plus the receiving parcel's HDR units equals 100 before the transfer, the total must also equal 100 after the transfer.)
- ♦ The transfer may occur between different legal owners.

To request a minor density adjustment, the owner or owners of both the sending and receiving parcels shall submit to the County Planning Director all information needed to determine compliance with the above unit-transfer criteria. This submittal shall include information identifying the affected parcels and designating the number of units being transferred; a Minor Amendment application with filing fee; and any other necessary documentation requested by the Planning Director. The applicant shall also provide a revised Specific Plan table reflecting the adjusted unit counts and densities, as well as any necessary maps. The revised table will allow the Planning Department to track unit allocations.

Minor density adjustments that fulfill the above criteria and are consistent with the intent of the Specific Plan and EIR will not require an amendment to the Specific Plan. If the Planning Director determines that the minor density adjustment is not consistent with the above criteria, the minor density adjustment shall be denied or may be referred or appealed to the Planning Commission. Any determination of consistency may be forwarded to the Planning Commission for review at the discretion of the Planning Director. If a request for density adjustments does not comply with the above criteria, the applicant may request an amendment to the Specific Plan.

The Placer Vineyards Specific Plan encourages the provision of a broad range of cultural activities, including religious facilities. The Plan Area has specially designated religious sites reserved for religious facilities with an underlying land use designation. The underlying land uses include both residential and non-residential uses selected to be compatible with surrounding land uses. Underlying land uses are indicated in parenthesis following the REL site designation in the land use diagram (Figure 3.1). Property owners who develop religious facilities on their property, including the properties of religious sites with underlying non-residential uses, shall be given density bonuses or additional residential units that may be transferred to other residential areas in their development as described in the policies that follow.

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Density Transfer for Religious Sites

Residential units may be transferred between land use parcels in those areas designated in the Specific Plan as Religious Site (REL). Such transfers are subject to the standards and application requirements described under “Minor Density Adjustment. They must also meet the following additional requirements:

- ◆ The number of bonus units assigned to a specific existing parcel within the Specific Plan shall be as designated in Table 3-3.
- ◆ If an approved use occurs on the religious site, property owner(s) may send all or a portion of the designated number of units from the religious site to a receiving site designated for residential uses.
- ◆ The resulting density of the receiving site may be increased by the density transfer. The maximum density, however, shall not exceed the upper end of the density range for the land use designation on the receiving site.
- ◆ The units transferred shall be identified in a Minor Amendment application and any other documentation that the Planning Director needs to determine compliance with the criteria listed above under “Density Transfer for Housing Units.”
- ◆ The sending sites identified in the Specific Plan shall be identified on the tentative maps of all development proposals. These sites shall remain available for sale and development for an acceptable religious use for a minimum of up to 5 years from the date of approval of the tentative map.
- ◆ After the minimum 5-year period, owners may subdivide land that has an underlying residential land use designation but was originally designated REL in the land use diagram, and may construct the residential bonus units on the site.
- ◆ Religious sites with underlying non-residential land uses, such as Business Park (BP) or Commercial/Mixed Use (C/MU), shall be granted the same privileges to transfer the area reserved for the religious site, as indicated in Table 3-3. These units may be transferred to other residential areas of their property or to another property (see “Density Transfer for Housing Units” above). Owners of properties still undeveloped with a religious use after the minimum 5-year period may develop the property for an approved C/MU or BP use as designated. Property owners will relinquish their religious site density bonus units at that time, however.

Other Religious Sites

Sites made available for religious uses other than the designated religious sites in the Land Use Plan shall be identified on tentative maps. If approved for a religious use, these sites may also qualify for the associated residential density transfer of units, subject to the provisions described above.

9.2.8 DESIGN/ SITE REVIEW

The purpose of the County’s design review process is to ensure that the design of buildings constructed in the Plan area is of high quality, and to prevent new construction from adversely affecting the desirability of the immediate and nearby areas for residents and businesses. All commercial, multi-family residential, and industrial development within the Plan Area will be subject to design guidelines/standards and will be subject to design review in accordance with the procedures outlined in Section 17.52.070 of the Placer County Zoning Ordinance.

Through the design Review process, applications are approved, conditionally approved, or denied, based on consistency with the design standards and guidelines established for each district and the Specific Plan area, in general. Design review will occur for each of the following components of development:

- ◆ Grading and drainage
- ◆ Lighting
- ◆ Parking and vehicular circulation
- ◆ Signs (new and copy changes)
- ◆ Exterior building alterations
- ◆ Painting
- ◆ Walls and fences
- ◆ Landscaping

9.3 DEVELOPMENT SEQUENCING

The Placer Vineyards Plan Area is anticipated to be built out over a 20- to 30-year time frame and may evolve in a variety of ways depending on several factors. These factors may include shifts in market demand for various housing types and nonresidential uses and changes in the development goals or financial capabilities of property owners.

Build-out of the Plan Area will require a significant investment in the construction of a core backbone, community-level infrastructure system that includes roadways, sewer, water, recycled-water, and drainage facilities. The Specific Plan is based on the construction of a core backbone infrastructure system that will allow more than 90% of the Plan Area to develop, when completed. As development occurs, infrastructure will be extended from the core backbone infrastructure system, as required, to serve new development. Refer to Figure 9.1 for a diagram of the improvements to the core backbone roadway infrastructure. Refer to the Public Facilities Financing Plan for a discussion of core backbone development for other infrastructure systems (i.e., sewer, water, and recycled water).

Build-out of the Plan Area will also require a program for the timing of community services necessary to serve new development as it occurs. Community services required to serve build-out of the Plan Area are described in Chapter VII, “Public Utilities and Services.” Refer also to the Public Facilities Financing Plan for more detailed analysis, timing, and costs for planned community service facilities.

9.3.1 DEVELOPMENT SEQUENCING POLICIES

Policy 9.2 Infrastructure and Services Planning.

Development and the required infrastructure and community service facilities (necessary for public health, safety, welfare, and education) shall be timed to respond to new development in the Plan Area. Construction of a core backbone infrastructure system at the outset of development will allow a majority of the Plan Area to develop when ready. Any property owner in the Plan Area may develop, provided that they build and fund the necessary infrastructure and public facilities as set forth in the Development Agreement and in the Public Facilities Financing Plan.

Policy 9.3 Initial Backbone Infrastructure Roadway and Trail System.

The initial backbone roadway infrastructure improvements, as indicated in Figure 9.1, shall include the following:

1. Widening Baseline Road to four lanes
2. Widening Watt Avenue to four lanes

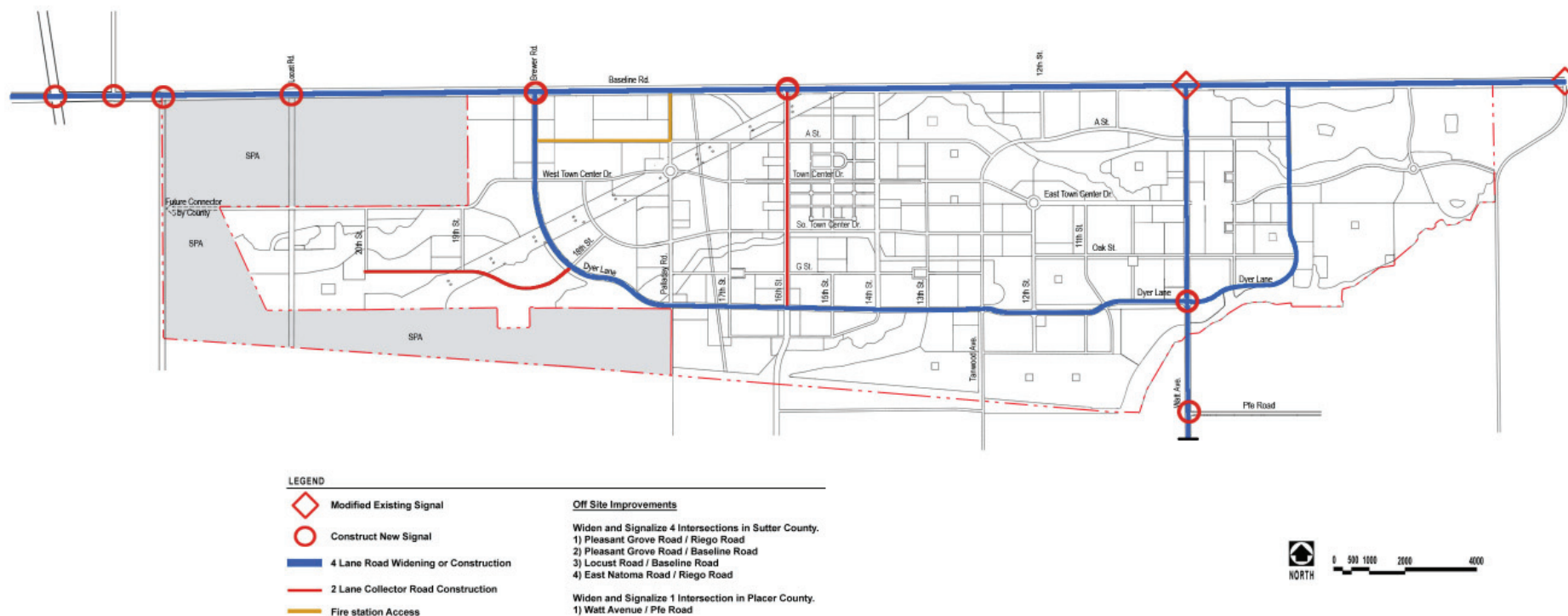
3. Constructing 16th Street as a two-lane roadway
4. Constructing and widening Dyer Lane from Watt Avenue to Baseline Road at Brewer Road to four lanes
5. Constructing the 18th Street segment from Dyer Lane to Locust Road as a two-lane roadway
6. Modifying two existing signals on Baseline Road—one at the intersection of Walerga Road and the other at the intersection of Watt Avenue
7. Constructing new signals and improving the intersections of:
 - a. Watt Avenue/East Dyer Lane
 - b. 16th Street/ Baseline Road
 - c. Baseline Road/ West Dyer Lane
 - d. Watt Avenue/ PFE Road
8. Widening and signalizing the following intersections in Sutter County:
 - a. Pleasant Grove Road/Riego Road
 - b. Pleasant Grove Road/Baseline Road
 - c. Locust Road/Baseline Road
 - d. East Natoma Road/Riego Road
9. A set of core backbone trails shall also be developed concurrently with the core infrastructure roadway improvements at the following locations:
 - a. North side of Dyer Lane
 - b. West side of Watt Avenue
 - c. South side of Baseline Road
 - d. East side of 16th Street

Policy 9.4 Guiding Principles.

A set of guiding principles shall define the “rules” regarding the construction of subdivision infrastructure and the issuance of building permits. These rules shall be applied in determining the minimum required infrastructure improvements for each project or tentative subdivision map and building permit processed by the County. These guiding principles shall be spelled out in the Placer Vineyards Public Facilities Financing Plan.

IMPLEMENTATION

Figure 9.1 Core Backbone Roadway Infrastructure



Source: McKay & Somp 2005

9.4 PUBLIC FACILITIES FINANCING PLAN

The Placer Vineyards Public Facilities Financing Plan identifies all backbone infrastructure improvements, public facilities, and administrative costs needed to serve the Plan Area. The Public Facilities Financing Plan includes this information for roadways, sewer, water, drainage, recycled water, detention, open space, and erosion as well as schools, public administration, fire, sheriff, library, and transit. The Public Facilities Financing Plan describes the costs and financing mechanisms that will be used to create these improvements in a timely manner.

The Public Facilities Financing Plan is designed to achieve the following goals:

- ♦ Identify ways to finance construction of infrastructure using public and private sources.
- ♦ Establish project-specific fees to fund major backbone facilities not included in existing fee programs.
- ♦ Use existing Placer County and Special District fee programs to the extent possible.
- ♦ Make maximum use of “pay-as-you-go” mechanisms.
- ♦ Make appropriate use of municipal debt financing mechanisms.
- ♦ Build in flexibility to allow response to market conditions.

9.4.1 OVERVIEW OF FINANCING STRATEGY

The major infrastructure required for development to proceed in the Plan Area will be funded through a combination of public and private financing. Fees include County, Special District, and Plan Area fees. Placer County and special districts serving the Plan Area have developed impact fee programs to fund a portion of the road, sewer, water, sheriff's, and park facilities.

A Plan Area fee program will be used to fund the remaining backbone costs and other public facilities serving the Plan Area. Also, a new regional fee may be created to fund public facilities serving the entire South Placer County area.

Bond financing may be needed to fund development impact fees and other costs during the early years of development, as well as at other strategic times when Plan Area fees are not able to provide timely funding for the facilities required for new development. However, debt financing will be limited to prudent levels and shall be consistent with state and County guidelines.

Facilities will be constructed as they are needed to serve new development. Development projects will be conditioned during the subdivision process to construct facilities needed to serve the development. Developers will receive either fee credits or reimbursements for advancing eligible projects based on the County/ District's reimbursement policies. Developers participating in the debt financing mechanism will also receive fee credits for facilities funded through debt financing. If the bond capacity is insufficient to fund all the improvements, other funding mechanisms such as private financing will be required.

Several different financing sources will be used to fund the infrastructure required to serve the projected development and to mitigate impacts on surrounding developments. Placer County and Special Districts serving the Plan Area have established development impact fee programs to fund a portion of the road, sewer, water, sheriff's, and park facilities.

A Plan Area fee program will be used to fund the remaining sewer, water, drainage, and roadway costs. In addition to Plan Area fees, which will not provide up-front funding in time for many of the facilities, debt financing (assessment district or Mello-Roos financing) will be used to fund facilities toward the beginning of development. School facilities will be funded through school mitigation fees and possibly through other funding sources, including the State School Building Program or local general obligation bonds.

It is expected that costs will change over time; therefore, each funding mechanism should include a method for adjusting the amount of funding to reflect current costs at the time of construction. At any stage, smaller subareas may develop, depending on the financing capacity of the area, development plans, and market conditions.

9.4.2 GENERAL FINANCING POLICIES

Policy 9.5 General Financing Policy.

The following policies shall be followed in implementing the Public Facilities Financing Plan for the Plan Area:

1. *The full costs of both on-site and off-site public infrastructure and public facilities required to support the Plan Area will be funded from revenues generated by development within the Plan Area. Some regionally serving public facilities may be funded by a larger fee program that includes areas both within and outside of the Plan Area.*
2. *Development projects will be required to provide up-front funding for the costs of extending the backbone infrastructure necessary to adequately serve and support their projects, consistent with the Public Facilities Master Plan.*

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Developers will be subject to fee credits or future reimbursements. The costs for backbone infrastructure and community service facilities will be allocated as much as possible based on a project's fair share of required improvements.

- 3. Existing fee programs of the County and other agencies such as a sewer maintenance district that will serve the Plan Area should be used to fund Specific Plan infrastructure improvements to the extent that the improvements are eligible for fee program funding.*
- 4. A Plan Area fee may be created for those "backbone" improvements that are not funded by existing fee programs. A fair-share cost allocation of the Plan Area fee for required public improvements will be established for each land use.*
- 5. Pay-as-you-go financing will be used to the extent possible. The principal use of debt financing will be to fund those broad-scale facilities needed to facilitate the entire community or significant portions of it. Debt financing will be used only when needed to permit development or to maintain level of service standards. A Plan Area fee will be created for those "backbone" improvements that are not funded by existing fee programs or by some form of public debt. A fair-share cost allocation of the Plan Area fee for required public improvements will be established for each land use.*
- 6. When debt financing is used, the total annual tax and/or assessment rates for developed land shall not exceed fiscally prudent standards consistent with the Rules and Procedures of the Placer County Assessment and Community Facilities District Screening Committee.*
- 7. Before undeveloped properties can be included within assessment districts, property owner consent is required as provided by state statute and local requirements. When a property has been proposed for development, the tentative subdivision map and final map have been approved, and the property will benefit from publicly financed infrastructure, the property owner shall be required to annex the property into an existing County Service Area, or other special district (such as a sewer maintenance district that has funded or will fund improvements that benefit the property). Parcel maps or lot splits that are found by the applicable hearing body to be for bonafide agricultural uses and that are consistent with the underlying agricultural zoning are exempt from this policy.*

9.4.3 FINANCING PUBLIC IMPROVEMENTS

As described below, the construction of backbone and other public improvements designed to serve the Plan Area will be funded by a variety of mechanisms: countywide impact fees; school district impact fees; Plan Area fees; establishment of special districts and assessments (i.e., community facilities district, community services district, and/or County service area); developer financing; and other potential methods.

County Impact Fees

Placer County has adopted a set of development impact fees to finance capital improvements. Future updates to the Placer County fees may include certain improvements within the Plan Area.

School District Impact Fees

The various school districts have established fees, in accordance with state regulations, to be used to construct school facilities. School impact fees are collected by the County before the issuance of a building permit and are forwarded to the applicable school districts.

Plan Area Fees

County and other existing fee programs may not finance all capital improvements required to serve the Plan Area. Plan Area fees and/or a reimbursement program may be created to finance the balance of road, water, sewer, drainage, detention, open space, parks, and capital facilities.

West Placer Fees

The County may choose to create a new regional fee to fund the development of public facilities serving the entire South-west Placer County area. This fee could fund such public facilities as library, regional park, and sheriff's facilities.

Community Facilities District

A community facilities district may be established to help fund the construction and/or acquisition of backbone infrastructure and facilities in the Plan Area. The 1982 Mello-Roos Community Facilities Act enables cities and other entities to establish a community facilities district to fund various facilities and services. Under this act, an annual special maximum tax may be levied on land within the boundaries of the community facilities district. The proceeds from a bond sale by the community facilities district can be used for direct funding of improvements, to acquire facilities constructed by the developer, and/or to reimburse developers for advance funding of improvements.

The annual maximum special tax can be used toward bond debt service or to build infrastructure as needed. The proceeds of the Mello-Roos special tax can be used for direct funding of facilities and/or to pay off bonds.

Policy 9.6 Public Service and Infrastructure Maintenance Plan.

A public services plan will be created to address the manner in which public services delivery will be managed and financed. Maintenance of public infrastructure improvements also will be included in this plan. Properties will be required to annex into an existing County Service Area and/or any special districts established for maintenance of certain facilities that provide special benefit to the Plan Area, such as a Sewer Maintenance District, before receiving these services.

Facilities to be maintained may include landscape corridors and medians; open space areas; trails; bike paths; public administration facilities; drainage, detention, and retention facilities; stormwater quality treatment facilities; parks; and transit facilities.

Public services delivery may include park programming, roads, transit, sheriff's department service, fire service, a library, and public administration. Service delivery and maintenance may be funded through these methods:

- ♦ User fees
- ♦ Special tax levies (including a Mello-Roos community facilities district special tax)
- ♦ Assessments

Policy 9.7 Other Financing Mechanisms.

As noted, other financing mechanisms, such as creation of private districts or associations, may be used to fund maintenance of certain facilities in the Plan Area. Specific financing requirements, improvement obligations, fees, reimbursements, land and easement dedications, conveyances, maintenance, and other financing and improvement-related obligations are detailed in the Specific Plan Development Agreements.

Policy 9.8 Infrastructure Not Included in Financing Plan.

In-tract subdivision improvements are not included in the Public Facilities Financing Plan.

Policy 9.9 Park Fee Credits and Reimbursements.

Park fees will include a neighborhood park fee, a community park fee, and an administration component. Fees are to be based on budgeted costs for park and bike trail improvements specified in this document, based on the development assumptions of this Specific Plan. Park fees are subject to annual adjustment and the provisions that follow.

1. *If the number of units proposed is equal to or less than 90% of the maximum allocation for the parcel in the Specific Plan, then the County and the landowner shall enter into an agreement to adjust the neighborhood park fee for that parcel. The County shall reserve the right to modify the park development program by redesigning park improvements or eliminating park facilities, provided that these apply first to parks within the property where the reduction of planned units occurs.*
2. *If the amount of credits to be received by the landowner exceeds the amount of neighborhood park fees to be generated by the owner's development of the property, then the landowner shall be reimbursed the amount by which the credits exceed the fees.*

PLACER VINEYARDS

Draft Placer Vineyards Specific Plan
Placer County, California

Appendix A: Land Use and Development Standards

Draft - March 2006



APPENDIX A: LAND USE AND DEVELOPMENT STANDARDS

I. INTRODUCTION

Placer Vineyards is a diversified community composed of a mix of residential, commercial, business and office uses, connected through a system of greenways and open spaces. The Land Use and Development Standards that follow should be used in conjunction with the goals, policies and design guidelines of the Placer Vineyard Specific Plan (PVSP).

To be adopted by ordinance, the PVSP Land Use and Development Standards are an appendix to the PVSP. These Land Use and Development Standards are intended to replace and/ or supplement the Placer County Zoning Ordinance and to serve as the zoning regulations governing development within the Placer Vineyards Specific Plan Area (henceforth, referred to as Plan Area). Where no standards are provided in this document, the standards contained in the Placer County Zoning and Subdivision Ordinance and/ or Land Development Manual ("County Code") shall apply. The standards in this document supercede, replace and shall take precedence over conflicting County standards governing the Plan Area.

The Development Standards provided here are intended to promote new, creative development forms, especially within the high density residential areas and mixed-use districts by providing standards that allow for flexible design. Examples of various residential lot layouts, housing prototypes, and standards for the types of commercial development, public/quasi-public uses and parks, recreation and open space uses that will be provided in the Plan Area are contained in this document to assist County staff with the review of new development proposals. The document is organized into five sections consisting of:

- I. Residential Development Standards and Land Uses
- II. Commercial Development Standards and Land Uses
- III. Public/ Quasi-Public Land Uses
- IV. Parks, Recreation and Open Space Land Uses, and
- V. Parking Standards

Development Standards have been written to provide a clear set of development policies, as outlined in the Placer Vineyards Specific Plan, for project sponsors, such as developers, property owners, architects and designers. All projects in the Placer Vineyards Specific Plan Area are subject to the standards herein and may be required to go through Design Review by staff and/ or the Planning Commission.

The Development Standards in conjunction with the PVSP Design Guidelines will be used to assist County staff, the Planning Commission and the Board of Supervisors in evaluating the merit of development proposals. Should individual projects differ in some respects but are substantially consistent with the intent of these standards, minor deviations may be allowed under certain circumstances. The Planning Director will have discretion over development items that deviate from these standards, and are not PVSP requirements. The Planning Director could accept different but substantially consistent design if it is determined to be of sufficient design and quality. Minor changes to an approved project that are substantially consistent with the original approval, may be approved by the Planning Director.

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LAND USE AND DEVELOPMENT STANDARDS

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II. RESIDENTIAL LAND USES



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2.1 RESIDENTIAL LAND USES INTRODUCTION

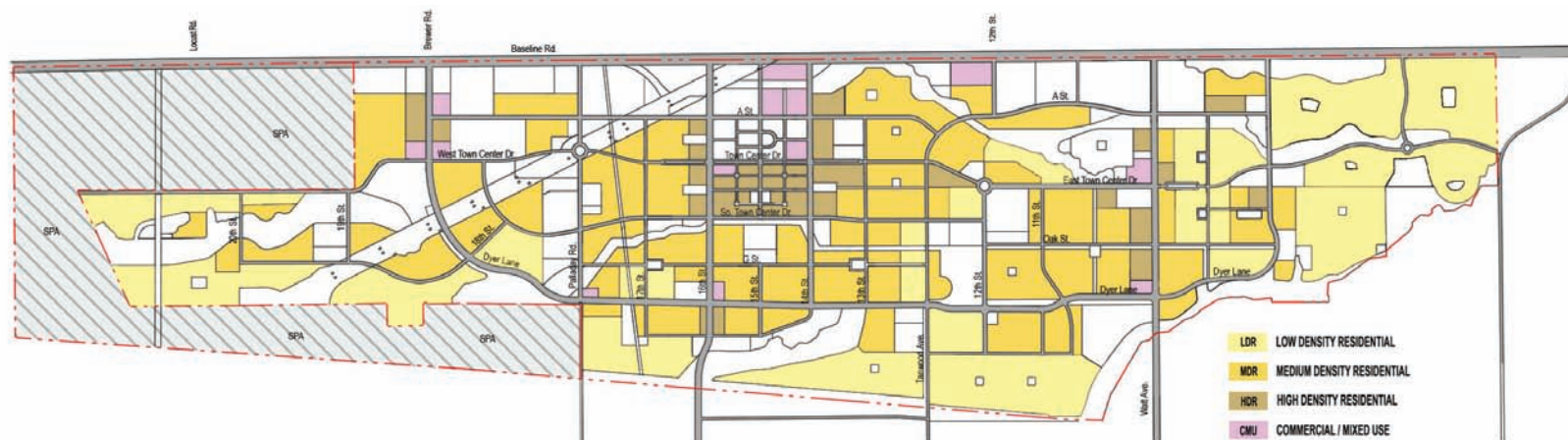
Placer Vineyards includes single family housing types that range from 1-8 dwelling units per acre and an assortment of innovative high density housing products in the 7-21 dwelling units per acre density range. This section provides residential standards governing the relationship of buildings to parcels; to streets; and to adjacent structures. The Development Standards are designed to encourage variety to occur with standards that are flexible, allow for innovative housing projects, and that promote high quality housing, consistent with the vision and goals of the Placer Vineyards Specific Plan.

The standards for the residential categories in the following pages have been set to generally apply to a diverse range of residential lot layouts and building prototypes that currently exist in the market. It is not intended to anticipate all design solutions or new residential products that may be introduced in the future. In these situations, these standards shall be used to guide the interpretation of housing projects and new product designs that are suggested to function with other standards. A Development Notebook shall be submitted to the Planning Department, prior to the issuance of any building permits (including model homes).

The Development Notebook shall include plot plans for each lot in the project, depicting all dimensions, easements, setbacks, height limits, and other restrictions which might affect the construction of structures on the lot. Refer also to Chapter VIII of the Specific Plan for Community Design Guidelines and Chapter IX for Implementation steps, including the process for submitting a development notebook.

Developments shall comply with Tables A-1 through A-4. Refer to Table A-4 for the permitted land uses in the residential designations in the Plan Area and Table A-13 for parking standards in residential areas.

The density ranges of the residential land use designations overlap with the next adjacent residential land use designation with Low Density Residential (LDR) densities at 2-6 du/ac; Medium Density Residential (MDR) densities at 4-8 du/ac.; High Density Residential (HDR) densities at 7-21 du/ac; and Commercial/ Mixed-Use densities at 14-22 du/ac. This overlap allows residential types to be blend. To accommodate this overlap, the development standards have been organized for each respective land use designation and are further categorized by their lot sizes.



Residential Land Use Diagram

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DEFINITIONS FOR RESIDENTIAL USES

GENERAL DEFINITIONS

Accessory Structures. A building or structure detached from a principal building located on the same lot but incidental and subordinate to the principal building or use (Refer to the Placer County Zoning Ordinance definition for residential accessory uses). Accessory structures include swimming pools, spas and hot tubs, workshops, studios, greenhouses, garages, guesthouses (without cooking or kitchen facilities), solar panels, propane tanks and similar equipment. It also includes all types of antennae and communication facilities-home receiving antennae for earth-based TV and radio broadcasts, broadcast and receiving antennae for HAM radio, commercial applications and satellite dish antennae (Refer also to the Placer County Zoning Ordinance definition for antennae, communication facilities and Section 17.56.060). The following are also considered accessory structures and subject to the following conditions.

1. Attached garages and carports are allowed within three (3)-foot of side and rear yard setbacks.
2. Decks shall maintain a minimum three (3)-foot side and rear yard setback, except on corner lots where it shall not interfere with clear site distance triangle requirements (see definition).
3. Shade Structures, including covered patios or gazebos shall not exceed fifteen (15)-foot in height and shall maintain a fifteen (15)-foot front yard setback and minimum three (3)-foot side and rear yard setback as measured from back of sidewalk or back of landscape corridor lot (See Figure A-1).
4. Fences and Walls. A maximum six (6)-foot high fence (including lattice and similar attachments) or wall (measured from the finished grade of the public street side). The maximum height shall be reduced to three (3)-foot if located within the clear site distance triangle (see definition), is within a required front setback, or within a side yard setback for a corner lot. The height of a fence or wall may be increased a maximum of two (2) feet to provide for noise attenuation or buffering of adjacent land uses, subject to the approval of the site/ design review committee.

Alley or Lane. A public or private way not more than thirty feet wide affording only secondary means of access to the adjacent property.

Attached. Buildings and structures shall be considered to be attached if they share a common roof system and if any breezeway or other similar connecting structure is at least one-half as wide as the distance between such buildings or structures, or if at least 50% of one wall is common to both structures.

Dwelling Unit. One or more habitable rooms that are designed and/ or used as independent living space for one family, with facilities for living, eating and sleeping, with no more than one kitchen (except that two kitchens are allowed where the habitable floor area of the dwelling is eight thousand square feet or larger), and at least one bathroom, and where all such habitable areas have access to each other from within the building.

Multi-family Dwellings. Buildings or a portion of a building used and/ or designed as residences for two or more families living independently of each other. Includes halfplex structures, duplexes, triplexes, fourplexes, and apartments (five or more units under one ownership in a single building); common ownership, attached unit projects such as condominiums and townhouses; and rooming and boarding houses.

Single family dwelling. A building designed for and/ or occupied exclusively by one family.

Sight distance triangle. The portion of both private property and public right-of-way located at any corner defined by the triangular area created by the diagonal connection of two points measured forty (40) feet back from the intersection of the prolongation of points measures along the front and corner street sided back of curb. The dimensions of the site distance triangle may be required to be increased if the County determines that additional area is needed to ensure that a potential traffic hazard is not created.

LAND USE AND DEVELOPMENT STANDARDS

DEVELOPMENT STANDARD DEFINITIONS

Refer to Figure A.2 for an illustration of a typical single family residential lot.

Lot Coverage. Lot coverage or site coverage means the percentage of the total site area occupied by buildings and structures. All areas of coverage are computed at ground level.

Lot Depth. Lot Depth is the distance between midpoints of straight lines connecting the foremost point at the front property line with the rear most point of the rear property line.

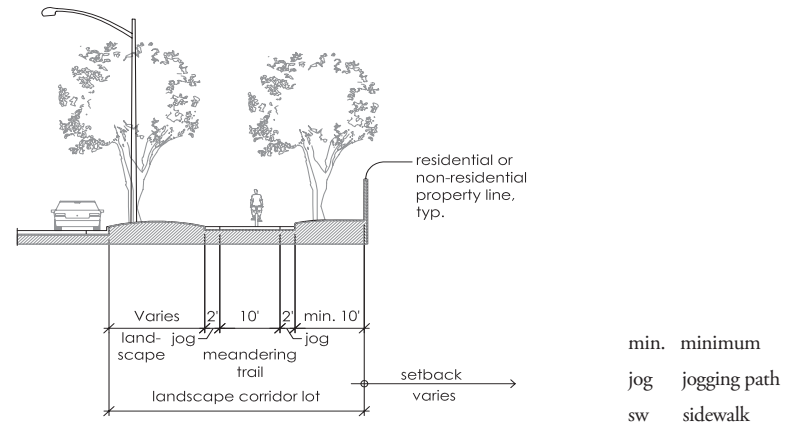
Lot Width. Lot Width is the mean width of the lot measured at right angles to its depth. Average Minimum Lot Width is the average of the lot widths within one tentative subdivision map.

Setback. An area on a lot where no buildings, structures or additions to them may be located and where, thereby becomes a yard area.

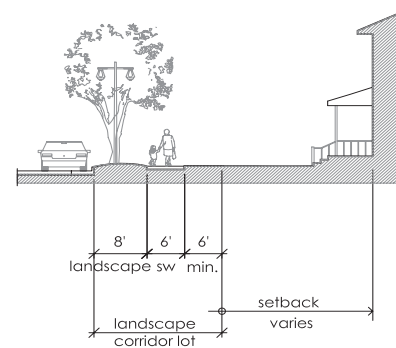
1. **Front Setback.** In the case of an interior lot, a line separating the lot from the street right of way. In the case of a corner lot, the owner may choose which street he shall designate as the front of the lot. Once the choice of frontage has been made, it cannot be changed unless all requirements for yard space are met.
2. **Interior Setback.** An area of separation between two building or structures on a single parcel
3. **Rear Setback.** An area formed by a line parallel to the rear property line, opposite the front property line.
4. **Side Setback.** An area formed by a line parallel to the side property lines of a lot that extends between front and rear setback areas (except on corner lots). Setbacks are measured perpendicular to side property lines.

Figure A.1 Setbacks

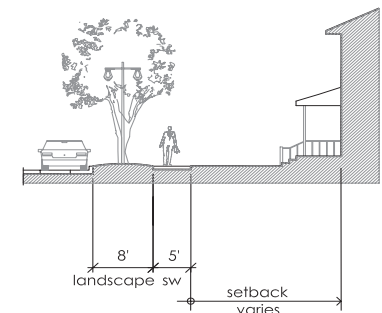
All residential yard setbacks on residential streets shall be measured from the back of sidewalk. Setbacks on all other streets shall be measured from the back of the landscape corridor lot, as indicated in the figures below.



On Thoroughfare and Arterial Streets

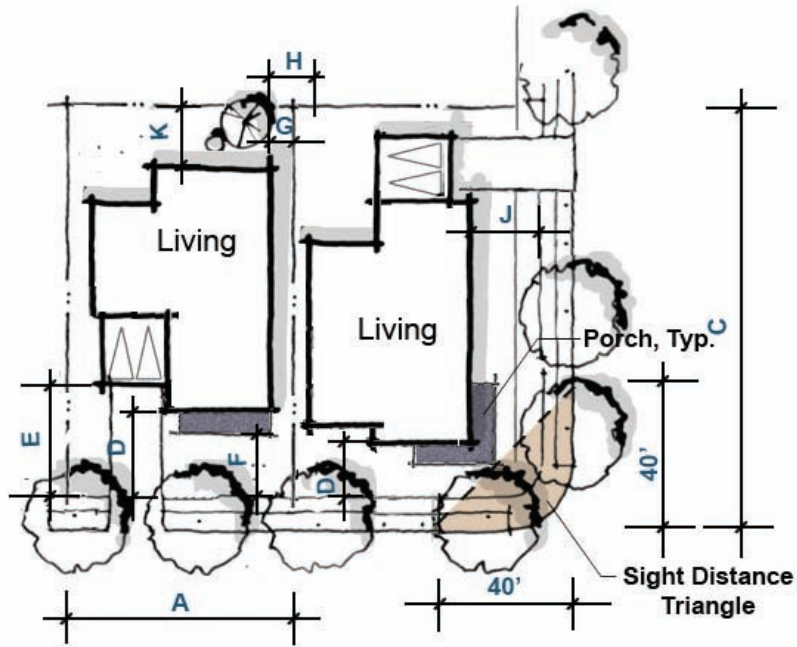


On Collector Streets



On Residential Streets

Figure A.2 Single Family Residential Lot Development Standards Key



- A Lot Width (interior lot)
- B Lot Width (corner lot)
- C Lot Depth
- D Front Setback (to house)
- E Front Setback (to garage)
- F Front Setback (to porch)
- G Side Setback (interior lot)
- H Side Setback (total of two adjacent interior lots)
- J Side Setback (corner lot)
- K Rear Setback

LAND USE AND DEVELOPMENT STANDARDS

DETACHED RESIDENTIAL TYPES

Angled Z Lots rotate the home roughly 45 degrees and jog the lot lines to suggest a Z configuration.

Detached Cluster Homes are clustered arrangements of single family homes typically to limit the number of access points along the street. Homes may be placed in either a conventional or zero lot line arrangement.

Detached Townhomes are oriented with their front entrances facing common open space with garage access occurring in alleyways from the rear. They may be arranged either conventional or zero lot line. Private yards may be placed in the front, side, or back.

Large Lot Single Family Homes are larger than traditional detached homes and have a minimum lot size of 10,000 square feet. They include front, side and back yards.

Standard Single Family Homes are detached homes with a minimum lot size of 5,000 square feet and typically have a garage and front, side and back yards.

Small Lot Single Family Homes are traditional detached homes with conventional side yards and rear yards only at a smaller scale than standard lots to promote affordability. They may be laid out in zero-lot line arrangements or alley loaded.

Zero Lot Line Homes are homes where one or more building walls of a detached house are constructed on the property boundary.

Zipper Lot Homes allow for a variation in the depth of rear yards and create more usable open space on the side of the lot. They are typically designed on wider lots.

ATTACHED RESIDENTIAL TYPES

Duplexes/ Triplexes/ Four-plexes are attached products of respectively, two, three, four or more units that share a common wall and conventional side and back yards.

Garden style apartments are typically multiple apartment structures arranged around a common green space with assigned parking either contained within the building, in parking lots, or detached garage bays, with guest parking distributed throughout.

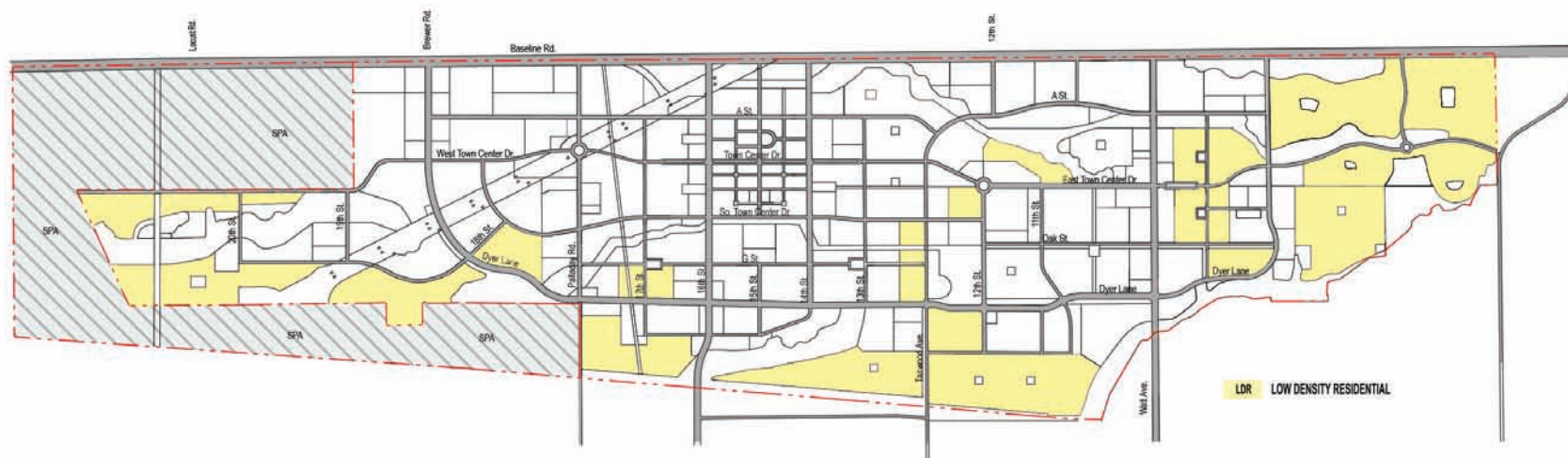
Half-plexes are single family homes converted and owned by two families.

Townhomes are rear alley loaded townhomes with tuck under or detached garages. Units may have private open space on a patio deck or within front and rear yards.

Podium Style Apartments have parking located in shared garages located beneath the first floor units. Private open space is typically provided from the living area as decks or patios. They can be designed to have an interior courtyard configuration or front onto surrounding streets.

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LAND USE AND DEVELOPMENT STANDARDS



Low Density Residential Locations

2.2 LOW DENSITY RESIDENTIAL (LDR)

LOW DENSITY RESIDENTIAL (2-6 DU/AC)

The Low Density Residential areas are intended for single family detached, half-plex units and similar, compatible uses. Corner lots are encouraged to be half-plex lots. The allowed density ranges from a minimum of 2 du/ac. to a maximum of 6 du/ac. The Low Density Residential neighborhoods also permit public and quasi-public uses such as, schools, parks and recreation facilities with appropriate buffers and access to major local roadways and collector streets. It also allows special housing types for active adults and community living.



2.2.1 Large Lot Single Family Detached Home

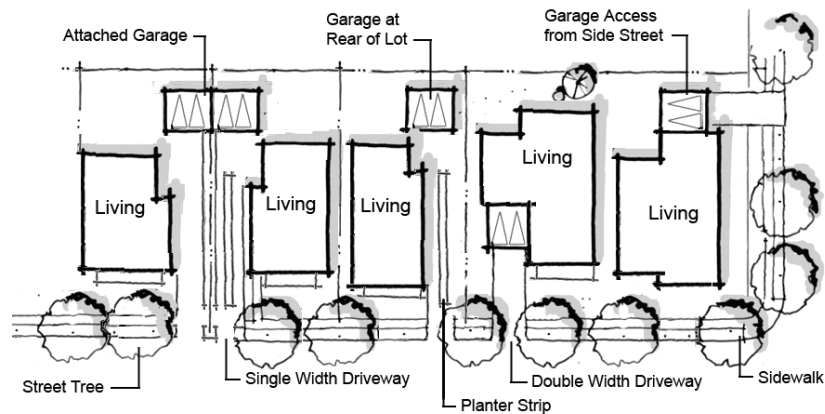


Figure A.3 Single Family Detached Residential Lot Configurations



2.2.2 Standard Lot Single Family Detached Home

LAND USE AND DEVELOPMENT STANDARDS

Table A-1 Low Density Residential Summary of Development Standards

Housing Type		2.2.1 Large Lot:		2.2.2 Standard Lot:	
	Key Figure	Lot Size ≥ 15,000 sf	Lot Size ≥ 10,000 sf	Lot Size ≥ 8,000 sf	Lot Size ≥ 6,000 sf
Minimum Parcel Size (sf)		15,000	10,000	8,000	6,000
Lot Size, Coverage and Width					
Maximum Lot Coverage (%) (1 Story/2 Story)		40/35	40/35	50/40	50/40
Minimum Lot Width at Street (Interior/Corner)	A/B	75/90	50/60	50/60	40/55
Minimum Lot Depth	C	120	100	100	90
Setbacks					
Front Yard Setback ⁴ to House/Garage	D/E	25/25	15/19	15/19	12/19
Front Yard Setback ⁴ to Porch	F	20	10	10	7
Side Yard Setback ⁵ (Interior ^{2,3} / Corner ^{3,4})	G;H/J	15 min; 30 total/25	8 min; 20 total/15	5 min; 12 total/15	5 min; 12 total/15
Rear Yard Setback ⁵	K	30	20	20	15
Maximum Building Height		36 feet	36 feet	36 feet	36 feet
Off-Street Parking		See Table A-13	See Table A-13	See Table A-13s	See Table A-13
Permitted and Conditionally Permitted Uses		See Table A-4	See Table A-4	See Table A-4	See Table A-4

Table A-1 Notes:

1. Unless otherwise noted, all depth, width, height, and setback dimensions are minimums and measured in units of feet.
2. Interior lot side setbacks are set as a minimum and as a total for two adjacent setbacks. Example: 5' min; 12' total.
3. A side yard adjacent to open space shall be treated as a corner lot setback. Interior side setback shall be zero feet for duplexes/ triplex/ fourplex/ half-plexes.
4. Front and street-side setbacks shall be measured from the back of sidewalk on residential streets or from the back of the landscape corridor lot for all other street sections, as indicated in Figure A.1.
5. Detached garages are “accessory structures” and allowed within 3 feet of the interior side and rear property lines. Detached garages may be attached across common side or rear property lines.

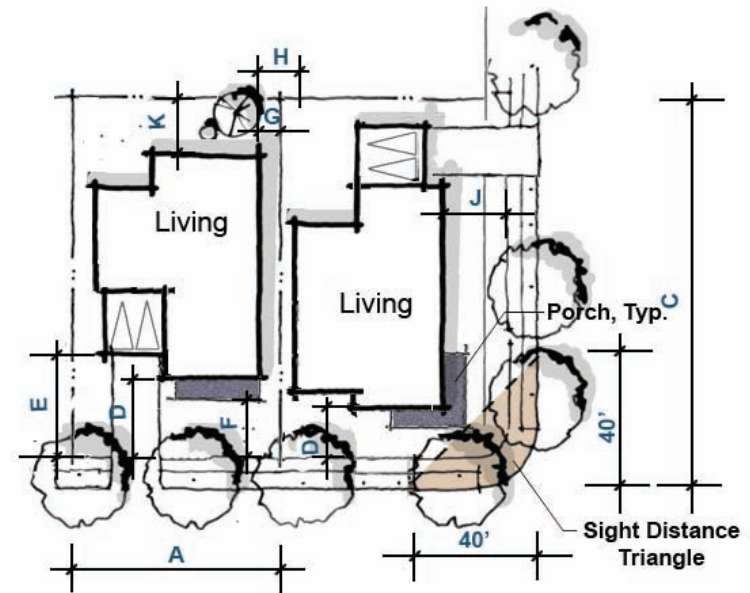


Figure A.4 Single Family Residential Lot Development Standards Key

2.2.1 LARGE LOT SINGLE FAMILY DETACHED

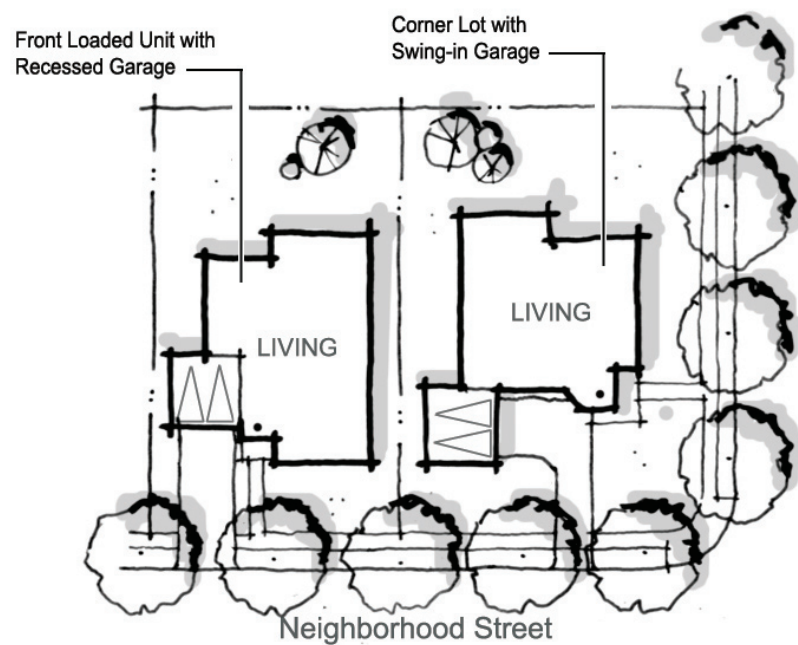


Figure A.5 Large Lot Single Family Types



Large Lot unit with front facing garage



Large Lot corner unit with swing-in garage

2.2.2 STANDARD LOT SINGLE FAMILY DETACHED

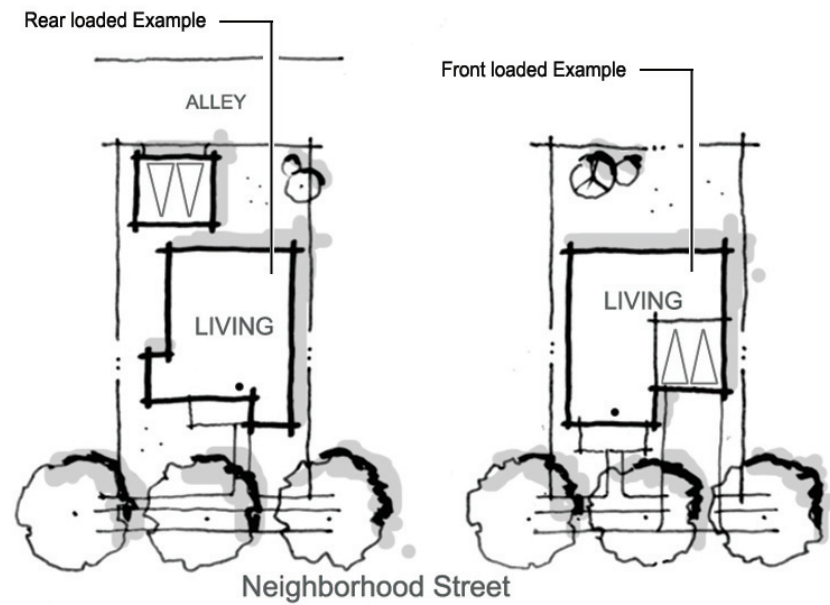


Figure A.6 Standard Lot Single Family Types



Standard lot unit with rear loaded access and front porches



Standard Lot unit with recessed garage

LAND USE AND DEVELOPMENT STANDARDS



Medium Density Residential Locations

2.3 MEDIUM DENSITY RESIDENTIAL (MDR)

MEDIUM DENSITY RESIDENTIAL (4 - 8 DU/AC)

The Medium Density Residential (MDR) areas permit a range of housing types such as standard and small lot single family detached homes, half-plex units and similar, compatible uses. The allowed density ranges from a minimum of 4 du/ac. to a maximum of 8 du/ac.



2.3.1 Standard Lot Single Family Detached Home

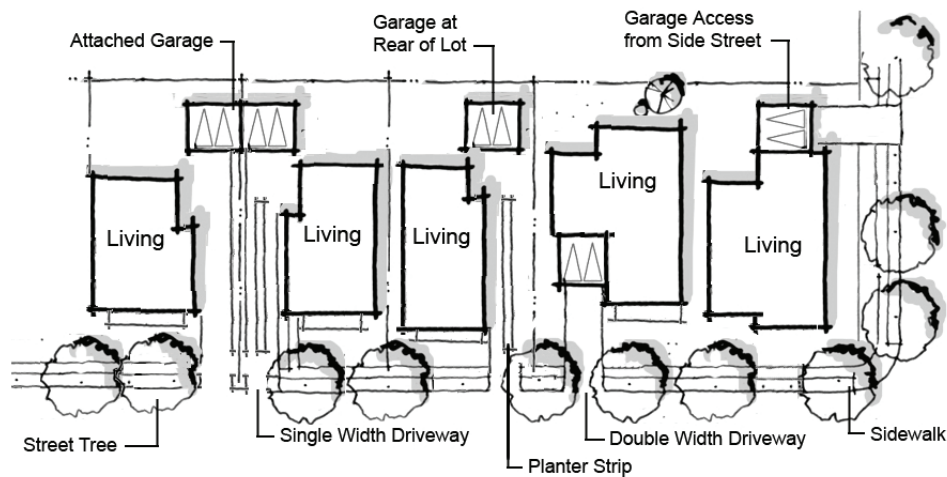


Figure A.7 Single Family Detached Lot Configurations



Half-plex units are encouraged at corner lots

Table A-2 Medium Density Residential Summary of Development Standards

Housing Type		2.3.1 Standard Lot		
	Key Figure	Lot Size \geq 8,000 sf	Lot Size \geq 6,000 sf	Lot Size \geq 5,000 sf
Minimum Parcel Size (sf)		8,000	6,000	5,000
Lot Size, Coverage and Width				
Maximum Lot Coverage (%) (1 Story/2 Story)		50/40	50/40	50/40
Minimum Lot Width at Street (Interior/Corner)	A/B	50/60	40/55	40/45
Minimum Lot Depth	C	100	90	70
Setbacks				
Front Yard Setback ⁴ to House/Garage	D/E	15/19	12/19	10/19
Front Yard Setback ⁴ to Porch	F	10	7	6
Side Yard Setback ⁵ (Interior ^{2,3} /Corner ^{3,4})	G;H/J	5 min;12 total/15	5 min;12 total/15	0 min;10 total/10
Rear Yard Setback ⁵	K	20	15	12
Maximum Building Height		36 feet	36 feet	36 feet
Off-Street Parking		See Table A-13	See Table A-13	See Table A-13

Table A-2 Notes:

1. Unless otherwise noted, all depth, width, height, and setback dimensions are minimums and measured in units of feet.
2. Interior lot side setbacks are set as a minimum and as a total for two adjacent setbacks. Example: 5' min; 12' total.
3. A side yard adjacent to open space shall be treated as a corner lot setback. Interior side setback shall be zero feet for duplexes/ triplex/ fourplex/ half-plexes.
4. Front and street-side setbacks shall be measured from the back of sidewalk on residential streets or from the back of the landscape corridor lot for all other street sections, as indicated in Figure A.1.
5. Detached garages are “accessory structures” and allowed within 3 feet of the interior side and rear property lines. Detached garages may be attached across common side or rear property lines.

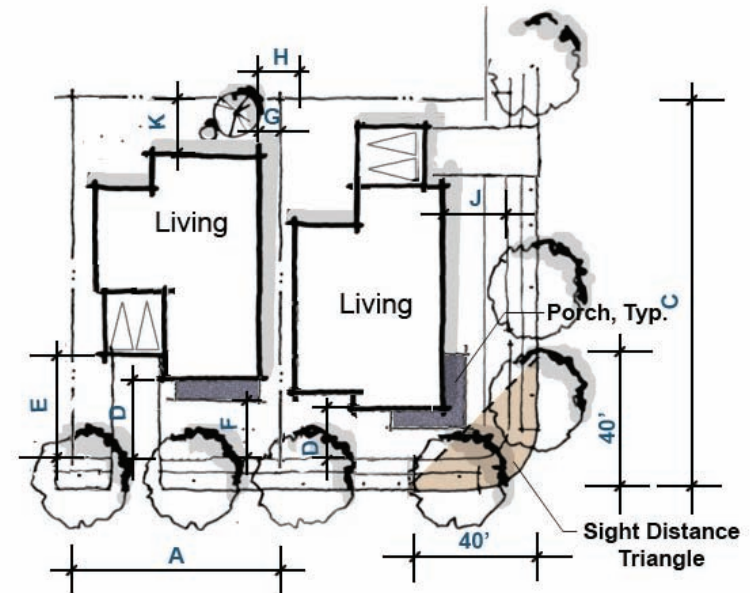


Figure A.8 Single Family Residential Lot Development Standards Key



2.3.1 Standard Lot Single Family Detached Home

2.3.1 STANDARD LOT SINGLE FAMILY DETACHED

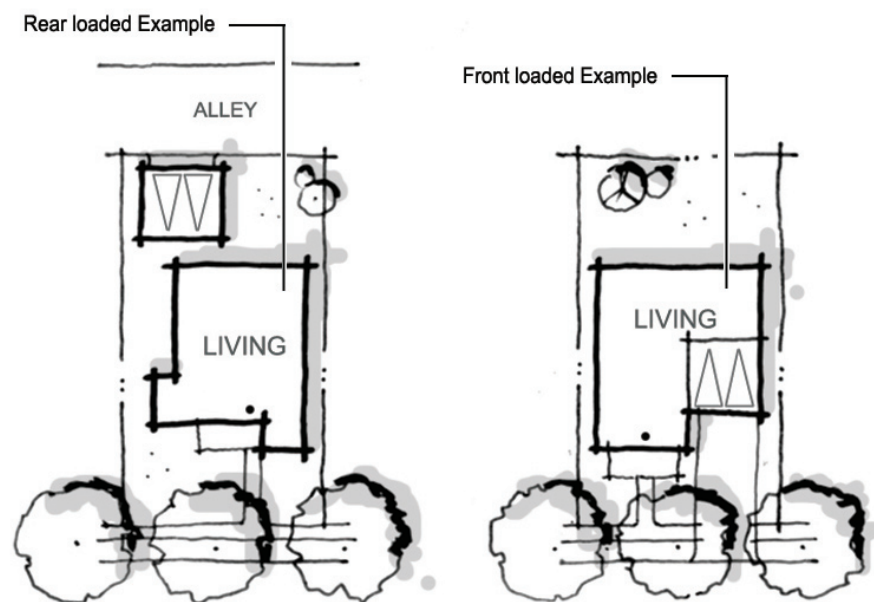


Figure A.9 Standard Lot Single Family Types



Single family unit with alley loaded, rear access



Single family unit with recessed garage

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LAND USE AND DEVELOPMENT STANDARDS



High Density Residential Locations

2.4 HIGH DENSITY RESIDENTIAL (HDR) DEVELOPMENT STANDARDS

HIGH DENSITY RESIDENTIAL (7 - 21 DU/AC)

The purpose of the High Density Residential (HDR) land use designation is to allow for detached and attached housing types with a density range from a minimum of 7 du/ac to a maximum of 21 du/ac. The HDR land use allows a range of housing types, including single family homes, half-plex, duplex, tri-plex, four-plex, six-plex, attached and detached townhomes, condominiums, garden apartments, mid-rise housing types and similar, compatibles uses.



2.4.1 Small Lot Single Family Detached Home



2.4.2 Single Family Detached Court Cluster



2.4.4 Attached Town Home



2.4.1 Detached Town Home



2.4.3 Duplex Home



2.4.5 Apartments/ Condominiums

LAND USE AND DEVELOPMENT STANDARDS

Table A-3 High Density Residential Summary of Development Standards

Housing Type		Small Lot			Other
	Key Figure	Lot Size \geq 4,500 sf	Lot Size \geq 3,500 sf	Lot Size < 3,500 sf	Lot Size Varies
Minimum Parcel Size (sf)		4,500	3,500	-	Placer County will consider other HDR housing types and deviations to development standards through the Design Review Permit process. Such housing types and development standards shall be consistent with the intent of the Placer Vineyards Specific Plan and Design Guidelines and demonstrate superior siting and architectural merits.
Lot Size, Coverage and Width					
Percentage Lot Coverage (%) (1 Story/2 Story)		50/45	55/55	65/65	
Minimum Lot Width at Street (Interior/Corner)	A/B	35/40	30/35	See Note 6	
Minimum Lot Depth	C	70	70	See Note 6	
Setbacks					
Front Yard Setback ⁴ to House/Garage	D/E	10/19	10/19	See Note 6	
Front Yard Setback ⁴ to Porch	F	6	6	See Note 6	
Side Yard Setback ⁵ (Interior ^{2,3} / Corner ^{3,4})	G;H/J	0 min; 10 total/ 10	0 min; 8 total/ 10	See Note 6	
Rear Yard Setback ⁵	K	10	10	See Note 6	
Maximum Building Height		36	36	36	
Off-Street Parking		See Table A-13	See Table A13-	See Table A-13	
Permitted and Conditionally Permitted Uses		See Table A-4	See Table A-4	See Table A-4	

Attached Housing	
(Half-plex, Duplex, Tri-plex, Four-plex, Townhomes)	(Apartments, Condominiums)
Half-plex, Duplex, Tri-plex, Four-plex, etc.: 6,000 Townhomes: 1,700	18,000
70/70	N/A
50/50	50/50
100	100
10/19	10 ⁷ /19
N/A	N/A
10/10	10/10
10	10
45	65
See Table A-13	See Table A-13
See Table A-4	See Table A-4

Notes:

1. Unless otherwise noted, all depth, width, height, and setbacks are minimum dimensions and measured in units of feet.
2. Interior lot side setbacks are set as a minimum and as a total for two adjacent setbacks. Example: 5' min; 12' total.
3. A side yard adjacent to open space shall be treated as a corner lot setback. Interior side setback shall be zero feet for duplexes/ tri-plex/ four-plex/ half-plexes
4. Front and street-side setbacks shall be measured from the back of sidewalk on residential streets or from the back of the landscape corridor lot as indicated in Figure A.1 for all other street sections.
5. Detached garages are "accessory structures" and allowed within 3 feet of the interior side and rear property lines. Detached garages may be attached across common side or rear property lines.
6. Development standards proposed for small lot townhomes on lots smaller than 3,500 sf in size, auto court, cluster projects, or others will be established in consultation with Planning Department staff through the Design Review permit process.
7. Add 5' to the setback for each additional story above the first story.

2.4.1 SMALL LOT DETACHED TYPES

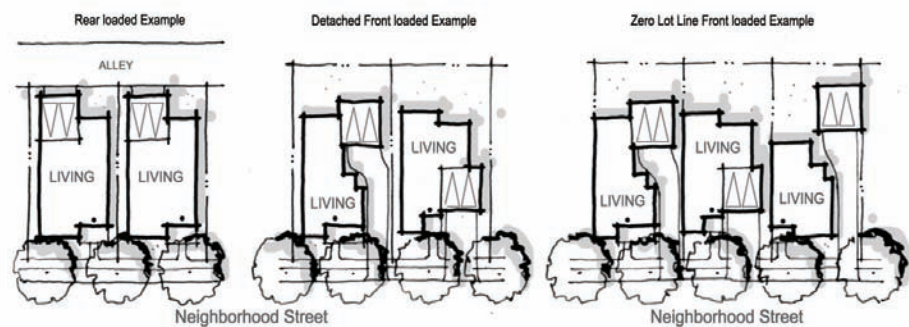


Figure A.10 Small Lot Single Family Detached Prototype



Rear loaded homes on small lot

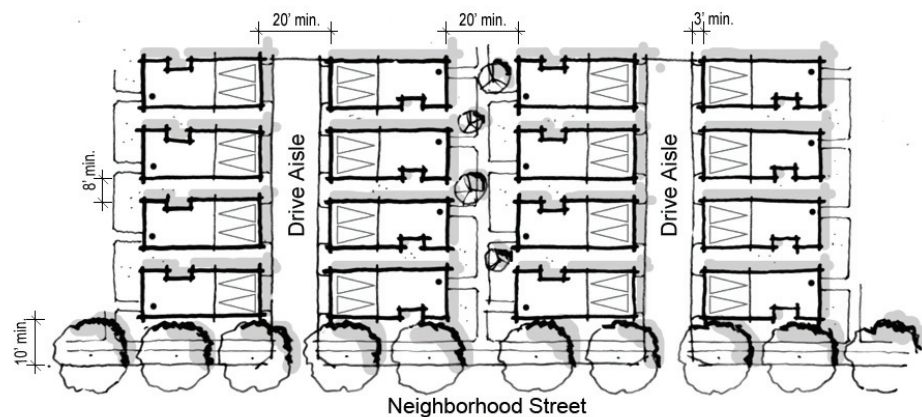


Figure A.11 Detached Townhome Prototype



Detached townhomes with entries from the paseo

2.4.2 DETACHED CLUSTER HOUSING TYPES

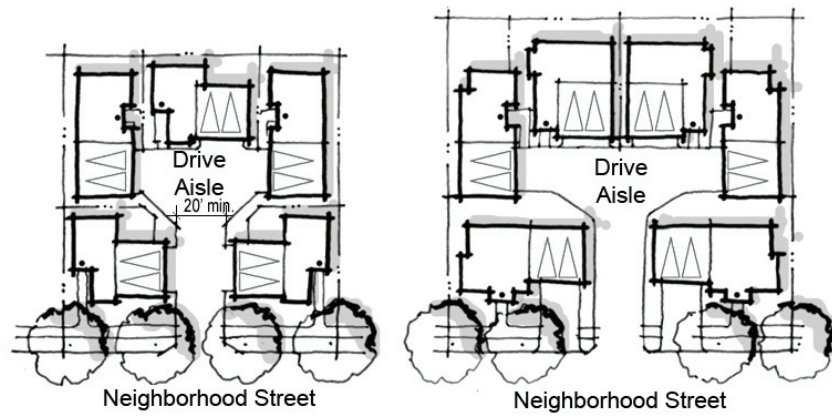


Figure A.12 Detached Cluster/ Motor Court Housing Type



Court cluster detached home seen from the drive aisle



Homes fronting an auto court

2.4.3 HALF-PLEX/ DUPLEX/ TRIPLEX/ FOURPLEX

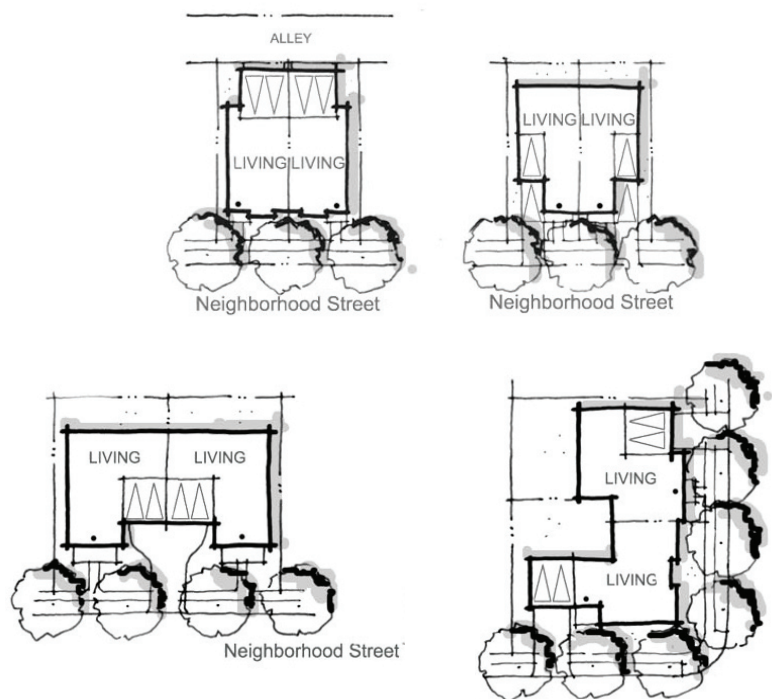


Figure A.13 Duplex Housing Types

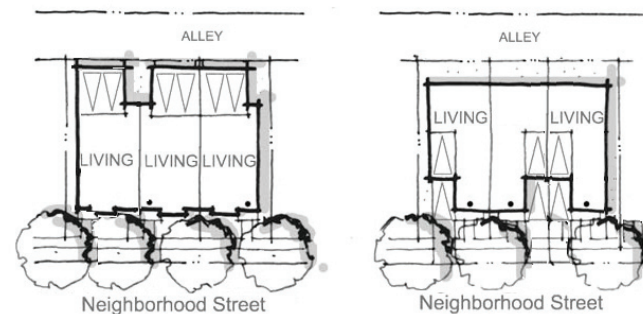


Figure A.14 Tri-plex Housing Types



Duplex Housing with rear loaded access



Triplex Housing



Four-plex Housing

2.4.4 ATTACHED TOWNHOMES

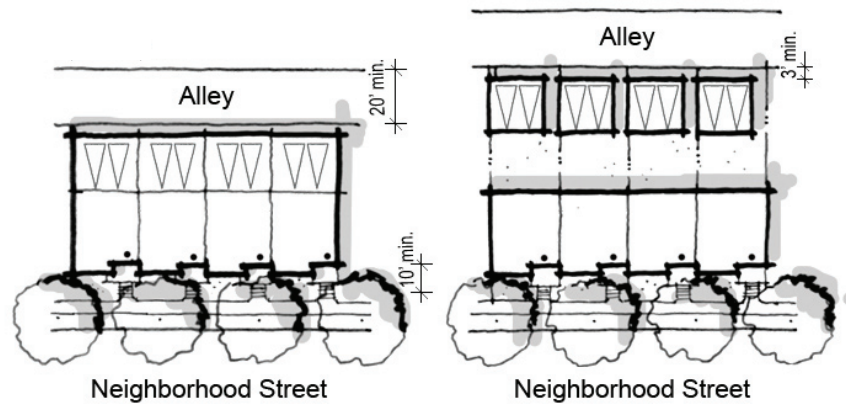


Figure A.15 Attached Townhome Type



Attached Townhome example



Attached Townhomes with rear loaded access



Attached Townhomes with tot lot in front

2.4.5 GARDEN STYLE CONDOMINIUMS/APARTMENTS

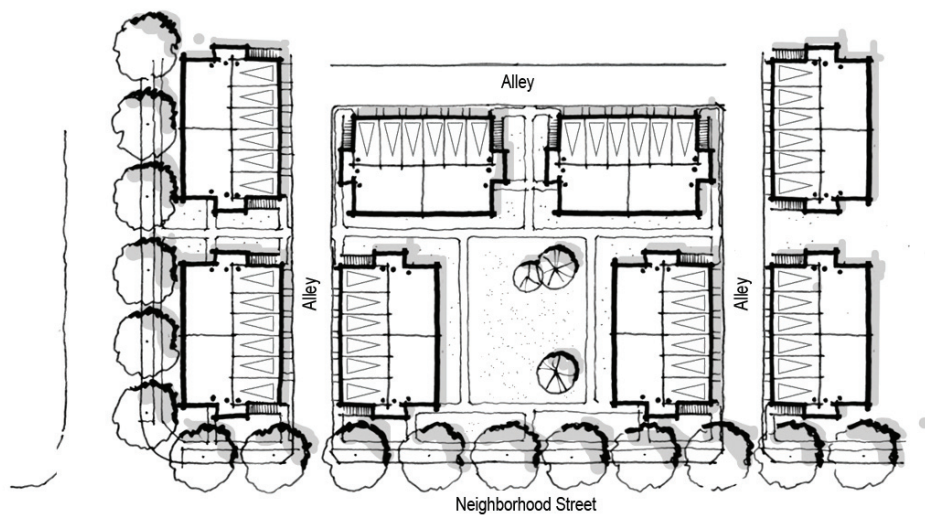
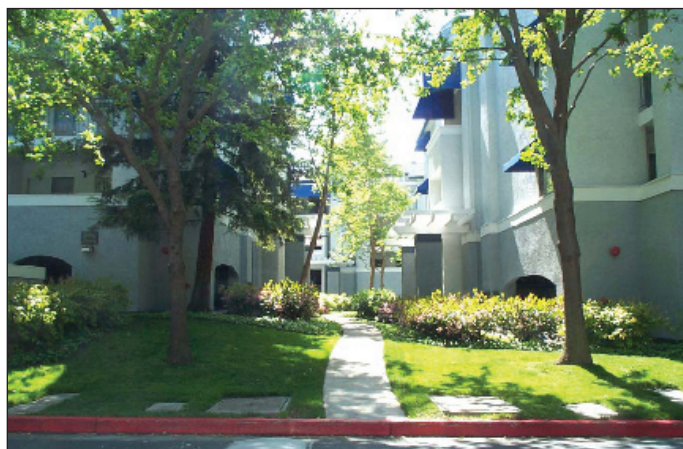


Figure A.16 Garden Style Apartment Prototype



Garden Style Condominiums



Apartments as seen from alley



Plaza connecting garden style apartments

2.5 RESIDENTIAL LAND USE TABLE

Table A-4 Residential Land Use Table

Land Use Types	Zone Districts		
	LDR	MDR	HDR
Residential Uses			
Multi-family dwellings, 20 or fewer units	A	A	A
Multi-family dwellings, 21 or fewer units		MUP	A
Residential accessory uses (Section 17.56.180)	C	C	C
Residential care homes, 6 or fewer clients	C	C	C
Residential care homes, 7 or more clients		MUP	MUP
Secondary dwellings (Section 17.56.200)	ARP	ARP	ARP
Senior housing projects (Section 17.56.210)		CUP	A
Single-family dwellings (Section 17.56.230)	A	A	MUP
Storage, Accessory (Section 17.56.250)	\$	\$	\$
Temporary dwelling - hardship/disaster (Section 17.56.290)	\$	\$	\$
Recreation, Education and Public Assembly Uses			
Community Centers	MUP	MUP	MUP
Houses of worship	MUP	MUP	MUP
Libraries and museums		MUP	MUP
Membership organization facilities		MUP	MUP
Parks, playgrounds, golf courses	MUP	MUP	MUP
Schools- Elementary	MUP	MUP	MUP
Schools- Secondary	MUP	MUP	MUP

Land Use Types	Zone Districts		
	LDR	MDR	HDR
Service Uses			
Cemeteries, columbariums and mortuaries		CUP	CUP
Child/adult day care, centers		MUP	MUP
Child day care, family care homes	C	A	A
Transient Lodging			
Bed and breakfast lodging (Section 17.56.070)	MUP	MUP	MUP
Miscellaneous Uses			
Antennas, communication facilities (Section 17.56.060)	\$	\$	\$
Pipelines and transmission lines	A	A	A
Public safety facilities	MUP	MUP	MUP
Public utility facilities	MUP	MUP	MUP
Recycling facilities (Section 17.56.170)	\$	\$	\$
Temporary events (Section 17.56.300)	\$	\$	\$

Key to Permit Requirements	
Allowed use, zoning compliance required (Section 17.06.050)	A
Zoning Clearance required (Section 17.06.050)	C
Administrative Review Permit required (Section 17.06.050)	ARP
Minor Use Permit required (Section 17.06.050)	MUP
Conditional Use Permit required (Section 17.06.050)	CUP
Permit requirements set by Article 17.56	\$
Uses not allowed	

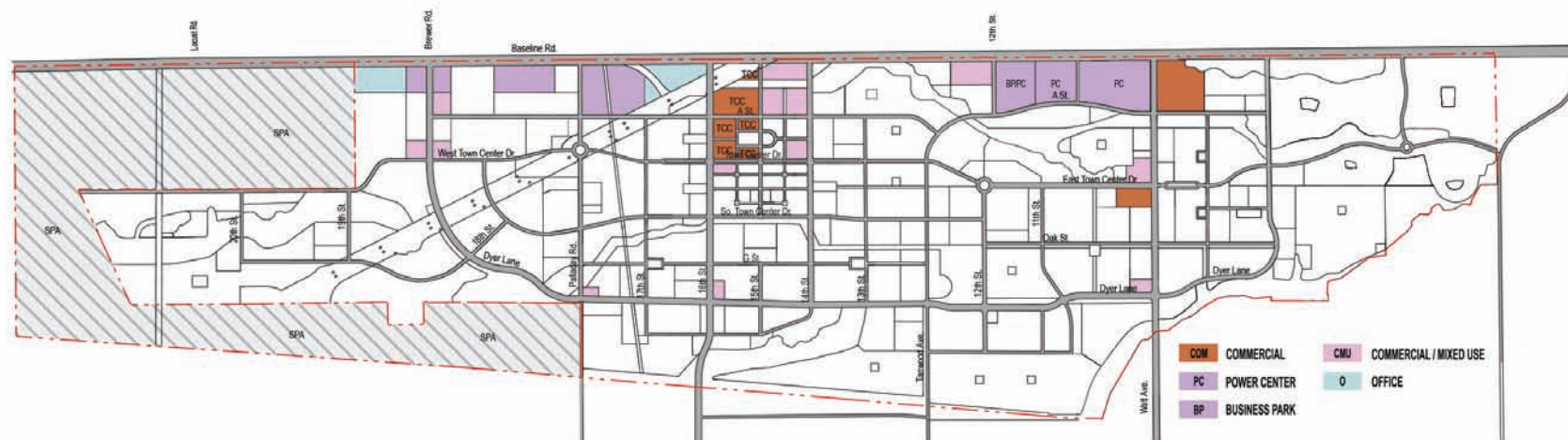
III. COMMERCIAL LAND USES



3.1 COMMERCIAL LAND USES INTRODUCTION

Commercial areas in Placer Vineyards are categorized into six major types- Commercial (Retail) (C), Town Center Commercial (TCC), Commercial Mixed Use (CMU), Office (O), Business Park (BP) and Power Center (PC). All commercial areas shall be designed to the standards and guidelines of the Placer Vineyards Specific Plan while allowing opportunities for innovative design. Each commercial type serves a specific function within the community and/ or the region and each type differs in the size, scale, type of retail uses and potential customer base. All commercial developments are designed to be conveniently accessible, situated to serve their projected users and shall also be pedestrian, bicycle and transit friendly.

Table A-11 shows the permitted Land Uses for all types of Commercial and Office Areas in the Plan Area. Parking requirements for commercial centers are provided in the following development standards. For mixed-use projects, parking may be shared between uses. A reduction in parking based on proposed uses may be allowed subject to the preparation and approval of a parking analysis for the project. See Table A-13 for parking standards in Commercial areas.



Commercial Land Use Diagram

LAND USE AND DEVELOPMENT STANDARDS

COMMERCIAL DEVELOPMENT STANDARD DEFINITIONS

Floor Area. “Floor area” means gross floor area, including the total floor area of each floor of all buildings on a site, including internal circulation (halls, lobbies, stairways, elevator shafts, covered porches, carports, balconies, etc.

Floor Area Ratio. A ratio between the gross floor space in a structure over the gross site area or lot area on which it is situated.

$$\text{FAR} = \frac{\text{Floor Area}}{\text{Site Area}}$$

Landscape Coverage. A percentage of the total site area reserved for landscaping and open space, whether public, private or a combination. All areas of coverage are computed at ground level. Landscaped areas include yards, landscaped setback areas, parking islands, tree wells, entry features, on-site surface drainage and retention areas, outdoor patios and plazas.

Lot Depth. Lot Depth is the distance between midpoints of straight lines connecting the foremost point at the front property line with the rear most point of the rear property line.

Lot Width. Lot Width is the mean width of the lot measured at right angles to its depth. Average Minimum Lot Width is the average of the lot widths within one tentative subdivision map.

Setback. An area on a lot where no buildings, structures or additions to them may be located and where, thereby becomes a yard area.

1. **Street Frontage.** The line separating the lot at the street right of way. In the case of a corner lot, the owner may choose which street he shall designate as the street front. Once the choice of frontage has been made, it cannot be changed unless requirements for yard space are met.
2. **nterior Setback.** An area of separation separation between two building or structures on a single parcel
3. **Rear Setback.** An area formed by a line parallel to the rear property line, opposite the front property line.
4. **Side Setback.** An area formed by a line parallel to the side property lines of a lot that extends between front and rear setback areas (except on corner lots). Setbacks are measured perpendicular to side property lines.

Site Area. “Site Area” means gross site area- all land within the property lines of a parcel or combination of parcels that make up the site for a land use/ project, including any internal easements.

Site Coverage. “Site or lot coverage” means the percentage of the total site area occupied by buildings and structures. For the purposes of this definition, “buildings” include all land covered by primary buildings, garages and carports, accessory buildings, covered decks, and other enclosed and covered areas, but not standared overhangs or eves, uncovered decks, paved areas such as walkways, driveways, patios, uncovered parking areas or roads. All areas of coverage are computed at ground level.

$$\text{Site Coverage} = \frac{\text{Building Footprint}}{\text{Total Site Area}}$$

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LAND USE AND DEVELOPMENT STANDARDS

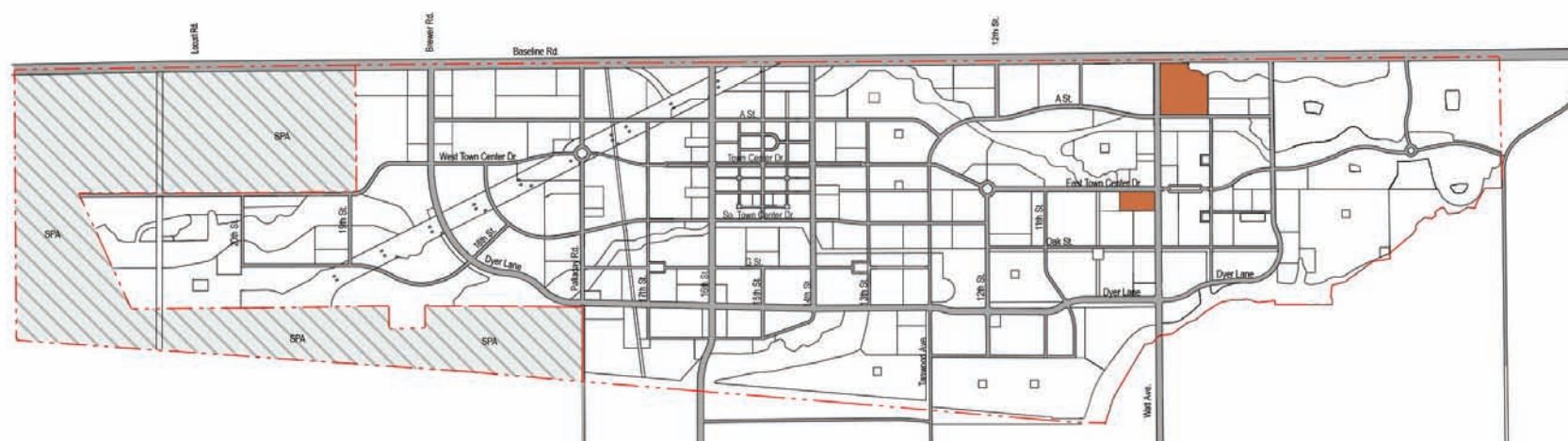
3.2 COMMERCIAL (COM) (0.20-0.30 FAR)

The Commercial (Com.) land use designation allows a variety of retail and service uses. These include small convenience stores and centers, neighborhood-serving shopping centers, and community-scale retail centers. Typical commercial land uses include neighborhood grocery stores, drug stores, and retail stores providing household goods and services for the surrounding residential neighborhoods. The Commercial designation also allows for banks and financial institution offices; realty and insurance offices; medical and professional office; and gas stations and auto repair uses. It also allows for public and quasi-public uses- parks, libraries and museums, public utility and safety facilities, and other similar, compatible uses.

The floor area ratio (FAR) applicable to the Commercial designation ranges from a minimum of 0.20 to a maximum of 0.30.



Commercial Retail Site



Commercial Locations

Table A-5 Commercial Development Standards

	Commercial (C)
Minimum Parcel Size (sf)	10,000 sq. ft.
Site Coverage	
Maximum floor area ratio ¹ (FAR)	.30
Maximum site coverage	35%
Minimum Setbacks² (from building/ parking)	
Street frontage	0' (building)/10' (parking)
Adjacent to residential uses	
Side yard ⁴	15' (building)/ 15' (parking) Side setbacks adjacent to residential areas shall be increased 1 foot for each 1 foot the building exceeds 20 feet in height, to a maximum required setback of 30 feet.
Rear yard ⁴	15' (building)/ 15' (parking)
Adjacent to all other uses	
Interior side yard ⁴	0' (building)/ 0' (parking)
Street side yard ⁴	0' (building)/ 10' (parking)
Rear yard setback ⁴	0' (building)/ 10' (parking)
Maximum Building Height	65'
Landscaping Requirements	
Landscape coverage	20%
Setback from public right-of-way ²	10'
Minimum Parking Requirements	See Table A-12
Permitted and Conditionally Permitted Uses	See Table A-11

Note:

1. Specific land use intensity distribution is based on a average FAR for the parcel of 0.25. Development proposals with F.A.R. greater than 0.25 may be subject to further environmental review.
2. The setback areas may include pedestrian or other amenities such as plazas, outdoor eating areas, pergolas, trellises or other landscape features. Building overhangs, trellises, awnings and canopies may extend horizontally into the public right of way up to 6', providing a minimum of 8' vertical clearance and conformance with the California Building Code. Parking provided within the street frontage setback or fronting public right-of-ways is discouraged but if provided, should be screened and landscaped, according to the design guidelines provided in the PVSP "Community Design" chapter.
3. A minimum of 30% of the ground floor facade fronting primary retail streets shall be designed with transparent wall surfaces such as windows, commercial display windows, and/or doorways. Building entry foyers, courtyards and outdoor seating areas for restaurants may be calculated as part of the 30% surface area requirement.
4. Mechanical equipment may be located in the required side or rear yard provided that no structure or equipment occupies more than two hundred (200) square feet of the required yard area. Minimum setback of mechanical equipment shall be five (5) feet. Mechanical equipment should be screened and oriented away from public views, to the extent possible.

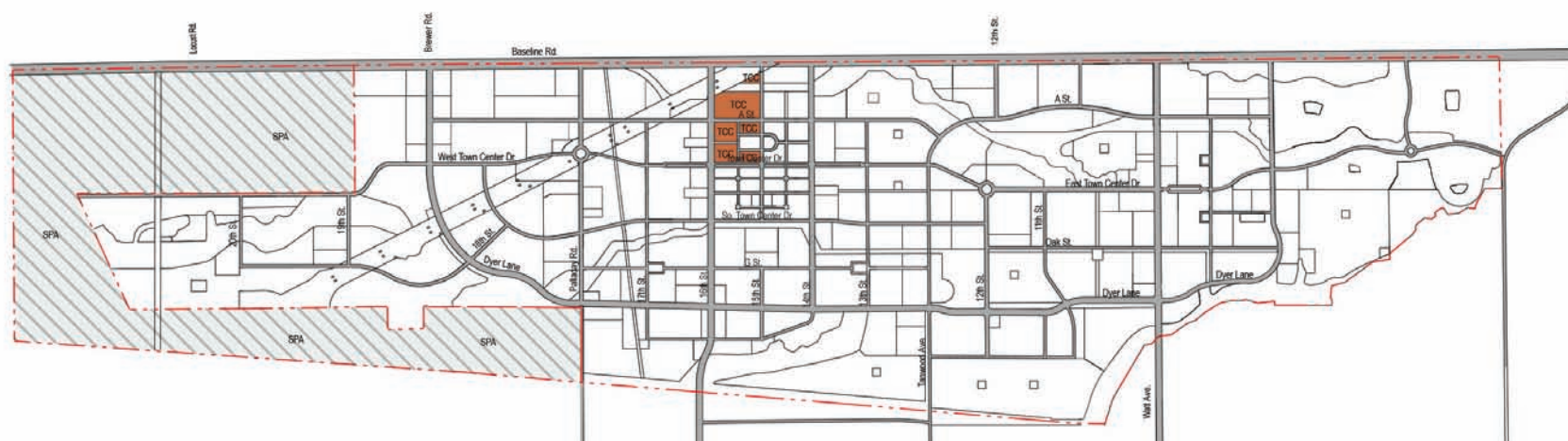
3.3 TOWN CENTER COMMERCIAL (TCC) (0.35-2.0 FAR)

The Town Center Commercial area is intended to create a pedestrian-oriented, easily accessible, mixed use retail core in the heart of the Placer Vineyards community. The Town Center Commercial (TCC) land use designation allows all types of office uses, a variety of retail stores and services, a variety of entertainment uses, public and quasi-public uses, public parks, and plazas.

For the purposes of distributing development intensities in the Specific Plan, it is assumed that 80% of this area will be developed with retail uses at an average FAR of 0.45 and the remaining 20% developed with office uses at an average FAR of 0.45. The floor area ratios applicable to the Town Center Commercial use ranges from a minimum of 0.35 to 2.0.



Town Center Commercial Area



Town Center Commercial Locations

Table A-6 Town Center Commercial Development Standards

	Town Center Commercial (TCC)
Minimum Parcel Size (sf)	8,000 sq. ft.
Site Coverage	
Maximum floor area ratio ¹ (FAR)	2.0
Maximum site coverage	50%
Residential Density ¹	14 to 22 du/ac
Minimum Setbacks (from building/ parking)	
Street frontage ²	0' (building)
Build-to-line ³	A minimum of 70% of all buildings shall front onto the street, located at the build-to-line (0' setback), where indicated in Figure A-.
Adjacent to residential uses	
Side yard ⁴	15' (building)/ 15' (parking) Side setbacks adjacent to residential areas shall be increased 1 foot for each 1 foot the building exceeds 20 feet in height, to a maximum required setback of 30 feet.
Rear yard ⁴	15' (building)/ 15' (parking)
Adjacent to all other uses	
Interior side yard ⁴	0' (building)/ 5' (parking)
Street side yard ⁴	0' (building)/ 5' (parking)
Rear yard setback ⁴	0' (building)/ 5' (parking)
Maximum Building Height	75'
Landscaping Requirements	
Landscape coverage ⁵	N/A
Minimum Parking Requirements	See Table A-12
Permitted and Conditionally Permitted Uses	See Table A-11

Note:

1. Specific land use intensity distribution is based on a average FAR for the parcel of 0.45. Development proposals with F.A.R. greater than 0.45 may be subject to further environmental review.
2. The setback areas may include pedestrian or other amenities such as plazas, outdoor eating areas, pergolas, trellises or other landscape features. Building overhangs, trellises, awnings and canopies may extend horizontally into the public right of way up to 6', providing a minimum of 8' vertical clearance and conformance with the California Building Code. Parking shall not be located within the street frontage setback.
3. A minimum of 70% of the ground floor facade fronting primary retail streets shall be designed with transparent wall surfaces such as windows, commercial display windows, and/or doorways. Building entry foyers, courtyards and outdoor seating areas for restaurants may be calculated as part of the 70% surface area requirement.
4. Mechanical equipment may be located in the required side or rear yard provided that no structure or equipment occupies more than two hundred (200) square feet of the required yard area. Minimum setback of mechanical equipment shall be five (5) feet. Mechanical equipment should also be screened and oriented away from public views, to the extent possible.
5. Landscaping shall be provided on a case by case basis and subject to Design Review approval.

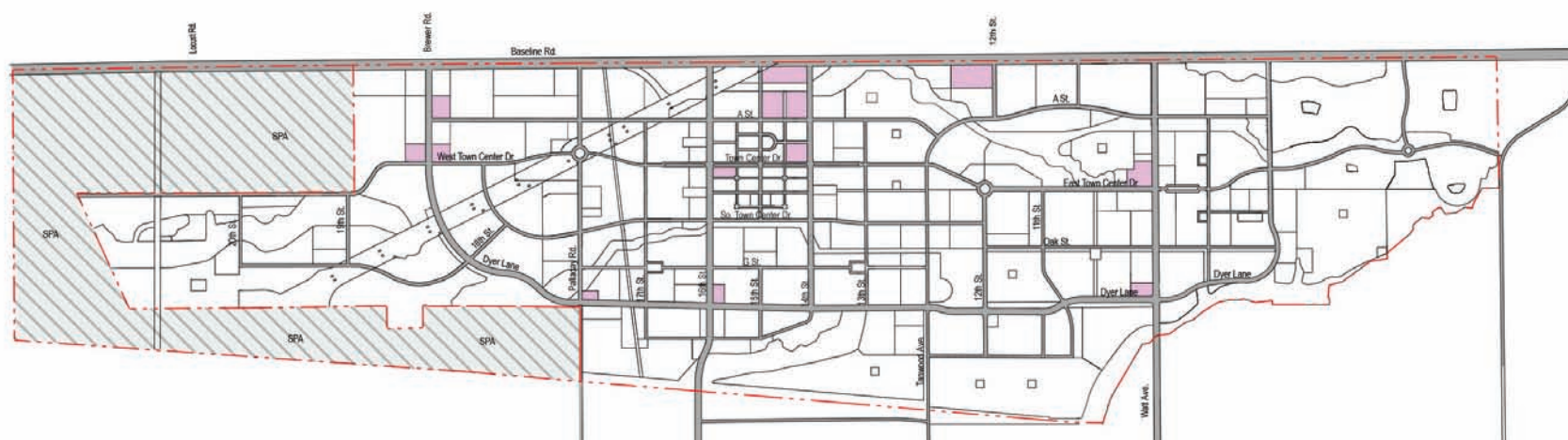
3.4 COMMERCIAL/ MIXED USE (C/MU) (15-35 DU/ AC) (0.35-2.0 FAR)

The Commercial/ Mixed Use (C/MU) land use designation is intended to encourage a variety of projects with a mix of uses including high density residential retail and office uses within one development. The C/MU designation allows for mixed-use neighborhood nodes of office and commercial uses on smaller sites integrated into the surrounding residential neighborhoods. Mixed use may include both vertical mixed-use- ground floor commercial uses with residential or office uses above or horizontal mixed-use- commercial and residential development located on the same site with shared open space and direct pedestrian connections.

For the purposes of distributing development intensities in the Specific Plan, it is assumed that 70% of this development area will be residential uses at an average of 18 du/ac and the remaining commercial uses evenly split between office and retail use at an average FAR of 0.45. C/MU areas allow for a residential density range of 15-35 du/ac. The floor area ratio applicable to C/MU areas range from a minimum of 0.35 to 2.0.



Commercial/ Mixed Use Example



Commercial/ Mixed Use Locations

Table A-7 Commercial/ Mixed Use Development Standards

	Commercial/ Mixed Use (C/MU)
Minimum Parcel Size (sf)	8,000 sq. ft.
Site Coverage	
Maximum floor area ratio ¹ (FAR)	1.00
Maximum site coverage	50%
Residential Density ¹	14 to 22 du/ac
Minimum Setbacks (from building/ parking)	
Street frontage ^{2, 3}	0' (building)
Adjacent to residential uses	
Side yard ⁴	15' (building)/ 15' (parking) Side setbacks adjacent to residential areas shall be increased 1 foot for each 1 foot the building exceeds 20 feet in height, to a maximum required setback of 30 feet.
Rear yard ⁴	15' (building)/ 15' (parking)
Adjacent to all other uses	
Interior side yard ⁴	0' (building)/ 5' (parking)
Street side yard ⁴	0' (building)/ 5' (parking)
Rear yard setback ⁴	0' (building)/ 5' (parking)
Maximum Building Height	75'
Landscaping Requirements	
Landscape coverage	20%
Setback from public right-of-way ²	5'
Minimum Parking Requirements	See Table A-12
Permitted and Conditionally Permitted Uses	See Table A-11

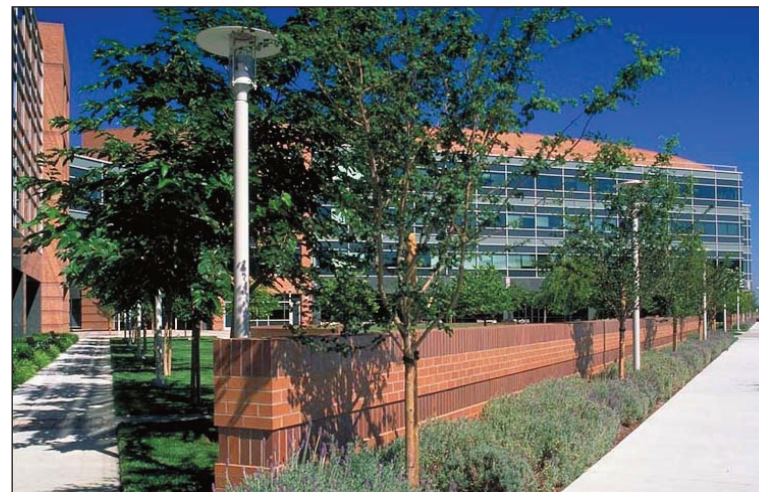
Note:

1. Specific land use intensity distribution is based on an average FAR for the parcel of 0.45 and average residential densities of 18 du/ac. Further environmental analysis has been prepared assuming that 70% of each existing Commercial/ Mixed Use parcel will develop as residential and 30% with Commercial/ Retail uses. Development proposals with FARs, residential densities, or percentage splits between types of land uses greater than these numbers may be subject to further environmental review.
2. The setback areas may include pedestrian or other amenities such as plazas, outdoor eating areas, pergolas, trellises or other landscape features. Building overhangs, trellises, awnings and canopies may extend horizontally into the public right of way up to 6', providing a minimum of 8' vertical clearance and conformance with the California Building Code. Parking shall not be located within the street frontage setback..
3. A minimum of 50% of the ground floor facade fronting primary retail streets shall be designed with transparent wall surfaces such as windows, commercial display windows, and/or doorways. Building entry foyers, courtyards and outdoor seating areas for restaurants may be calculated as part of the 50% surface area requirement.
4. Mechanical equipment may be located in the required side or rear yard provided that no structure or equipment occupies more than two hundred (200) square feet of the required yard area. Minimum setback of mechanical equipment shall be five (5) feet. Mechanical equipment should also be screened and oriented away from public views, to the extent possible.

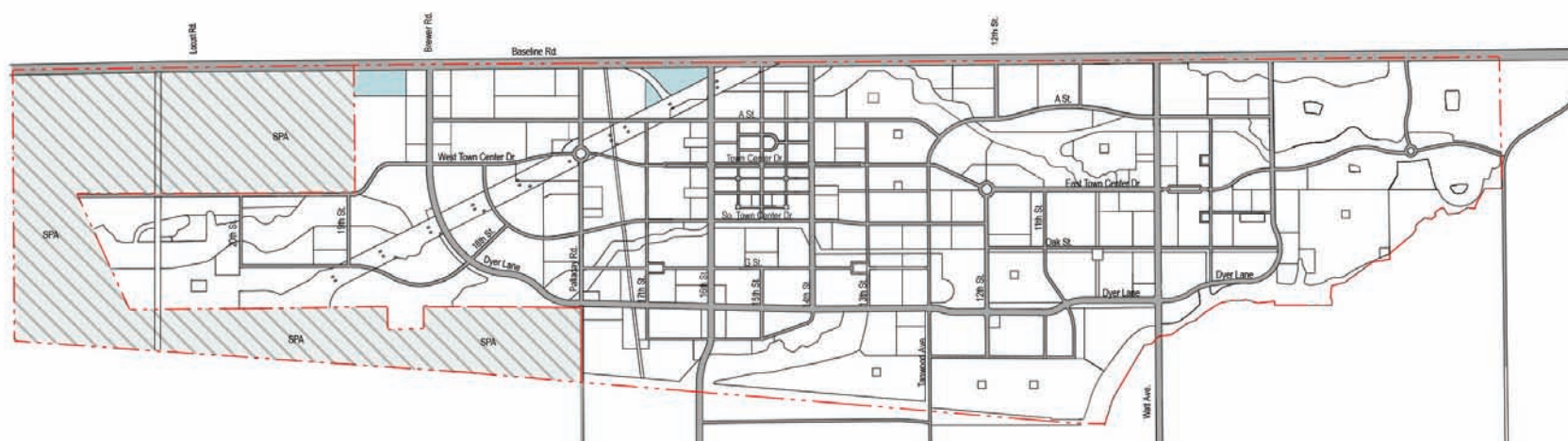
3.5 OFFICE (O) (0.25-0.45 FAR)

The Office (O) land use designation is intended for professional and administrative office uses including finance, insurance, and banking offices; office parks, light manufacturing uses, and related incidental office supporting commercial uses such as copy center, cafes, and communication retail sales and services.

The FAR applicable to the Office land use designation range from a minimum of 0.25 to a maximum of 0.45. For the purpose of distributing development intensity to the Office land use designation, the average FAR is assumed to be 0.30.



Office Site Example



Office Locations

Table A-8 Office Development Standards

	Office (O)
Minimum Parcel Size (sf)	10,000 sq. ft.
Site Coverage	
Maximum floor area ratio ¹ (FAR)	0.45
Maximum site coverage	35%
Minimum Setbacks^{2,5}	
Street frontage	20'
Adjacent to residential uses	
Side yard ³	15' Side setbacks adjacent to residential areas shall be increased 1 foot for each 1 foot the building exceeds 20 feet in height, to a maximum required setback of 30 feet.
Rear yard ³	15'
Adjacent to all other uses	
Interior side yard ³	15'
Street side yard ³	15'
Rear yard setback ³	10'
Maximum Building Height	65'
Landscaping Requirements⁴	
Landscape coverage	20%
Side and rear yards adjacent to residential uses	15'
Side and rear yards adjacent to all other uses	10'
Minimum Parking Requirements	See Table A-12
Permitted and Conditionally Permitted Uses	See Table A-11

Note:

1. Specific land use intensity distribution is based on a average FAR for the parcel of 0.30. Development proposals with F.A.R. greater than 0.30 may be subject to further environmental review.
2. The setback areas may include pedestrian or other amenities such as plazas, outdoor eating areas, pergolas, trellises or other landscape features. Building overhangs, trellises, awnings and canopies may extend horizontally into the public right of way up to 6', providing a minimum of 8' vertical clearance and conformance with the California Building Code. Parking provided within the street frontage setback or fronting public right-of-ways is discouraged but if provided, should be screened and landscaped, according to the design guidelines provided in the PVSP "Community Design" chapter.
3. Mechanical equipment may be located in the required side or rear yard provided that no structure or equipment occupies more than two hundred (200) square feet of the required yard area. Minimum setback of mechanical equipment shall be five (5) feet. Mechanical equipment should be screened and oriented away from public views, to the extent possible.
4. Except where parking areas, driveways, and outdoor pedestrian areas are shared between adjoining properties.
5. Parking shall not be allowed within fifteen (15) feet of any office building over one story in height. For one story buildings the parking shall be setback a minimum of seven (7) feet from the building.

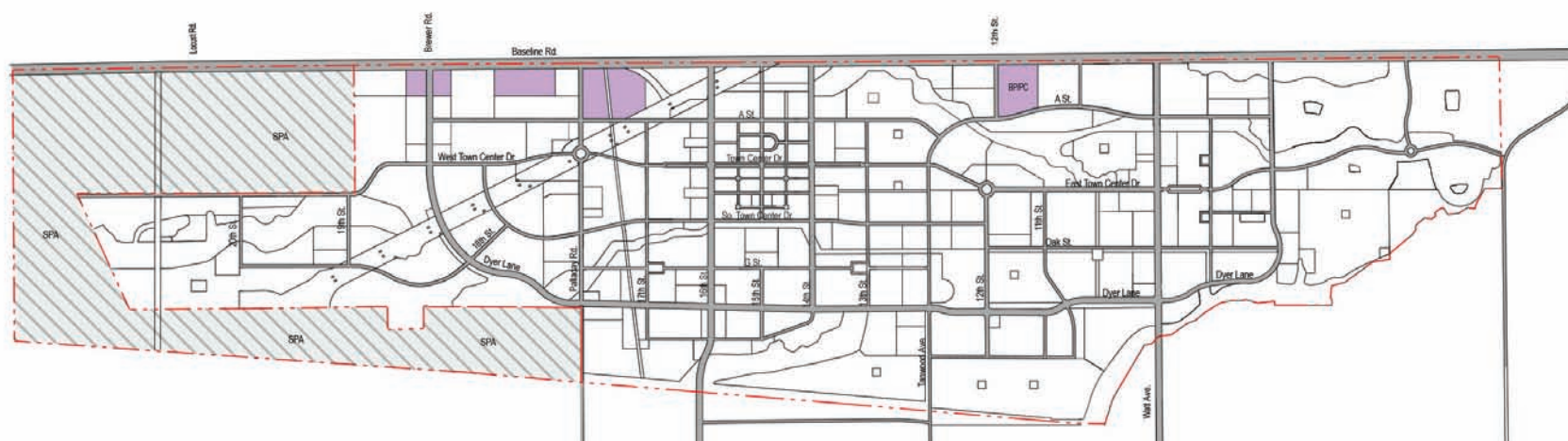
3.6 BUSINESS PARK (BP) (0.20-0.45 FAR)

The Business Park (BP) land use designation is to provide for a wide range of large scale office, commercial and light industrial uses on large parcels. BP land uses provide employment and commercial uses that help foster a balance of jobs and housing in the region. The BP land use designation is intended to allow for flexibility to meet the changing market conditions over time. The BP designation allows for a mix of office park uses, and supporting retail commercial uses such as business and office support services. It also allows for public and quasi-public uses such as religious facilities and private school and university facilities.

The FAR applicable to the Business Park land use designation range from a minimum of 0.20 to a maximum of 0.45. For the purpose of distributing development intensity to the Office land use designation, the average FAR is assumed to be 0.25.



Business Park Example



Business Park Locations

Table A-9 Business Park Development Standards

	Business Park (BP)
Minimum Parcel Size (sf)	10,000 sq. ft.
Site Coverage	
Maximum floor area ratio ¹ (FAR)	0.45
Maximum site coverage	35%
Minimum Setbacks^{2,5}	
Street frontage	20'
Adjacent to residential uses	
Side yard ³	20' Side setbacks adjacent to residential areas shall be increased 1 foot for each 1 foot the building exceeds 20 feet in height, to a maximum required setback of 30 feet.
Rear yard ³	15'
Adjacent to all other uses	
Interior side yard ³	15'
Street side yard ³	20'
Rear yard setback ³	10'
Maximum Building Height	65'
Landscaping Requirements⁴	
Landscape coverage	20%
Side and rear yards adjacent to residential uses	15'
Side and rear yards adjacent to all other uses	10'
Minimum Parking Requirements	See Table A-12
Permitted and Conditionally Permitted Uses	See Table A-11

Note:

1. Specific land use intensity distribution is based on a average FAR for the parcel of 0.25. Development proposals with F.A.R. greater than 0.25 may be subject to further environmental review.
2. The setback areas may include pedestrian or other amenities such as plazas, outdoor eating areas, pergolas, trellises or other landscape features. Building overhangs, trellises, awnings and canopies may extend horizontally into the public right of way up to 6', providing a minimum of 8' vertical clearance and conformance with the California Building Code. Parking provided within the street frontage setback or fronting public right-of-ways is discouraged but if provided, should be screened and landscaped, according to the design guidelines provided in the PVSP "Community Design" chapter.
3. Mechanical equipment may be located in the required side or rear yard provided that no structure or equipment occupies more than two hundred (200) square feet of the required yard area. Minimum setback of mechanical equipment shall be five (5) feet. Mechanical equipment should be screened and oriented away from public views, to the extent possible.
4. Except where parking areas, driveways, and outdoor pedestrian areas are shared between adjoining properties.
5. Parking shall not be allowed within fifteen (15) feet of any office building over one story in height. For one story buildings the parking shall be setback a minimum of seven (7) feet from the building.

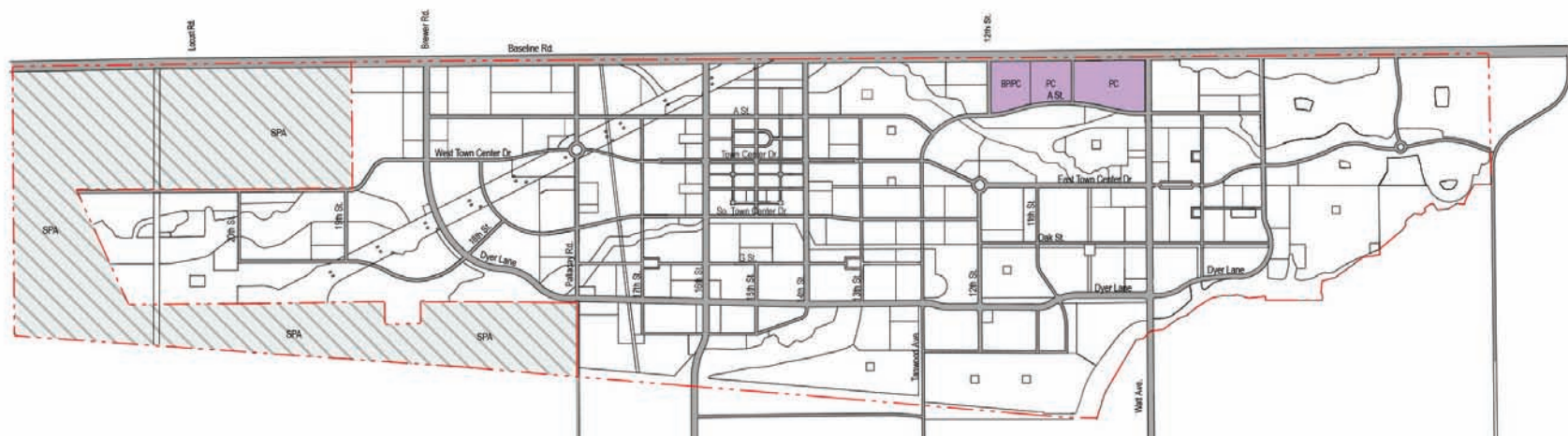
3.7 POWER CENTER (PC) (0.20-0.45 FAR)

The Power Center (PC) land use is envisioned for large-scale retail stores providing goods and services for the regional market. Stores include, but are not limited to, home improvement and large-scale gardening center, large-scale discount centers, furniture, household goods and groceries, auto sales and services, clothing outlets, restaurants and fast food outlets and other uses typically found in Power Centers. The Power Center designation will also allow for the location of public and quasi-public uses such as religious facilities and private schools and university facilities.

The FAR applicable to the Power Center land use designation range from a minimum of 0.20 to a maximum of 0.35. For the purpose of distributing development intensity to the Office land use designation, the average FAR is assumed to be 0.25.



Power Center Site



Power Center Locations

Table A-10 Power Center Development Standards

	Power Center (PC)
Minimum Parcel Size (sf)	10,000 sq. ft.
Site Coverage	
Maximum floor area ratio ¹ (FAR)	0.35
Maximum site coverage	35%
Minimum Setbacks^{2,5}	
Street frontage	20'
Building frontage ³	A minimum of 50% of all buildings shall be placed within the building frontage setback (measured 0' to 15' from the back of the landscape corridor lot) along the main commercial street.
Adjacent to residential uses	
Side yard ⁴	15' Side setbacks adjacent to residential areas shall be increased 1 foot for each 1 foot the building exceeds 20 feet in height, to a maximum required setback of 30 feet.
Rear yard ⁴	15'
Adjacent to all other uses	
Interior side yard ⁴	0'
Street side yard ⁴	0'
Rear yard setback ⁴	0'
Maximum Building Height	65'
Landscaping Requirements	
Landscape coverage	20%
Setback from public right-of-way ²	10'
Minimum Parking Requirements	See Table A-12
Permitted and Conditionally Permitted Uses	See Table A-11

Note:

1. Specific land use intensity distribution is based on a average FAR for the parcel of 0.25. Development proposals with F.A.R. greater than 0.25 may be subject to further environmental review.
2. The setback areas may include pedestrian or other amenities such as plazas, outdoor eating areas, pergolas, trellises or other landscape features. Building overhangs, trellises, awnings and canopies may extend horizontally into the public right of way up to 6', providing a minimum of 8' vertical clearance and conformance with the California Building Code. Parking provided within the street frontage setback or fronting public right-of-ways is discouraged but if provided, should be screened and landscaped, according to the design guidelines provided in the PVSP "Community Design" chapter.
3. A minimum of 30% of the ground floor facade fronting primary retail streets shall be designed with transparent wall surfaces such as windows, commercial display windows, and/or doorways. Building entry foyers, courtyards and outdoor seating areas for restaurants may be calculated as part of the 30% surface area requirement.
4. Mechanical equipment may be located in the required side or rear yard provided that no structure or equipment occupies more than two hundred (200) square feet of the required yard area. Minimum setback of mechanical equipment shall be five (5) feet. Mechanical equipment should be screened and oriented away from public views, to the extent possible.
5. Parking shall not be allowed within fifteen (15) feet of any building over one story in height. For one story buildings the parking shall be setback a minimum of seven (7) feet from the building.

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3.8 COMMERCIAL LAND USE TABLE

Table A-11 Commercial Land Use Table

	Zone Districts					
Land Use Types	O	CMU	BP	PC	COM	TCC
Agricultural Resource and Open Space Uses						
Plant nurseries, retail (See Section 17.56.165)				MUP	CUP	
Manufacturing and Processing Uses						
Printing and publishing		MUP	C	CUP		
Recycling facilities (Section 17.56.170)	\$	\$	\$	\$	\$	\$
Recreation, Education, Public Assembly Uses						
Community Centers	C	C	C	C	C	C
Houses of worship	C	C	C	C	C	C
Libraries and museums	C	C	C		CUP	A
Outdoor commercial recreation	MUP	CUP	MUP	CUP	MUP	CUP
Membership organization facilities	MUP	MUP	MUP	CUP	MUP	MUP
Parks, playgrounds, golf courses	MUP	MUP	MUP	MUP	MUP	MUP
Recreation and fitness centers	MUP	C	MUP	CUP	C	MUP
Schools- Elementary	MUP	MUP	MUP	MUP	MUP	MUP
Schools- Secondary	MUP	MUP	MUP	MUP	MUP	MUP
Schools- Specialized education and training	C	MUP	C	C	C	MUP
Sport facilities and outdoor public assembly	CUP	CUP	CUP	CUP	CUP	CUP
Temporary events (Section 17.56.300)	\$	\$	\$	\$	\$	\$
Theaters and meeting halls	CUP	MUP	CUP	C	C	MUP
Theaters, movie theaters						A

	Zone Districts					
Land Use Types	O	CMU	BP	PC	COM	TCC
Residential Uses						
Caretaker and employee housing (Section 17.56.090)	C	C	C	C	C	C
Home occupations (Section 17.56.120)	C	C	C	C	C	C
Multi-family dwellings, 20 or fewer units		A				A
Multi-family dwellings, 21 or more units		A				A
Residential accessory uses (Section 17.56.180)		C				C
Secondary dwellings (Section 17.56.200)		ARP				ARP
Senior housing projects (Section 17.56.210)		CUP				CUP
Single-family dwellings (Section 17.56.230)		C				C
Storage, Accessory (Section 17.56.250)	\$	\$	\$	\$	\$	\$
Temporary dwelling-hardship/disaster (Section 17.56.290)	\$	\$	\$	\$	\$	\$

Key to Permit Requirements	
Allowed use, zoning compliance required (Section 17.06.050)	A
Zoning Clearance required (Section 17.06.050)	C
Administrative Review Permit required (Section 17.06.050)	ARP
Minor Use Permit required (Section 17.06.050)	MUP
Conditional Use Permit required (Section 17.06.050)	CUP
Permit requirements set by Article 17.56	\$
Uses not allowed	

Table A-11 Commercial Land Use Table (Contd.)

Land Use Types	Zone Districts					
	O	CMU	BP	PC	COM	TCC
Retail Trade						
Auto, mobile home, vehicle an parts sales		CUP		C	C	CUP
Building material stores		MUP		A	C	MUP
Drive-in and drive thru sales	MUP		MUP	A	A	
Farm equipment and supplies sales				C	C	
Furniture, furnishings and equipment stores		C		A	C	C
Grocery stores less than 15,000 sf and liquor stores		C		C	A	C
Grocery stores, specialty less than 25,000 sf						A
Grocery stores, specialty greater than 25,000 sf See Note 1.					A	
Mail order and vending	C	CUP		C	A	CUP
Outdoor retail sales (Section 17.56.160)	\$	\$	\$	\$	\$	\$
Restaurants and bars (Section 17.56.190)	C	C	C	C	C	C
Restaurants, fast food (Section 17.56.190)		MUP		MUP	MUP	MUP
Retail stores, general merchandise		C		A	A	C
Secondhand stores		C			C	C
Shopping centers, up to 5 acres		CUP		A	A	CUP
Shopping centers, 5 to 10 acres		CUP		A	A	CUP
Shopping center, 10 acres or more		CUP		A	A	CUP

Land Use Types	Zone Districts					
	O	CMU	BP	PC	COM	TCC
Transient Lodging						
Bed and breakfast lodge (Section 17.56.070)		MUP			MUP	MUP
Hotels and motels (Section 17.56.130)		MUP	MUP	CUP	MUP	\$
Recreation vehicle parks (Section 17.56.080)				CUP		

Notes:

1. The Town Center will have the exclusive right for specialty grocers less than 25,000 square feet in size. Examples of specialty grocers are Trader Joe's, Whole Foods Market, or other similar store concept having a square footage of less than 25,000 square feet.
2. The Town Center will have the exclusive right within the Plan Area to open a traditional grocery store, such as a Safeway, Albertson's, Raley's, or other similar store concept for a period of time (as specified in the Development Agreement). If, however, Placer County or the City of Roseville circulates the draft EIR for public review and comment on the Curry Creek project, Regional University project, or City of Roseville MOU area, and any of these projects includes a traditional grocery store component, then this right of exclusivity for traditional grocery stores shall become null and void. At that time, any commercial owner in the Plan Area will be allowed to open a traditional grocery store without the restrictions described above.

Table A-11 Commercial Land Use Table (Contd.)

	Zone Districts					
Land Use Types	O	CMU	BP	PC	COM	TCC
Service Uses						
Banks and financial services	C	A	A	A	A	A
Business support services	A	A	A	C	C	A
Cemeteries, columbariums and mortuaries	CUP		CUP	CUP	CUP	
Child/adult day care, centers	MUP	MUP	MUP	CUP	CUP	MUP
Child day care, family care homes		C	C			C
Drive-in and drive-thru services	MUP	MUP	MUP	MUP	MUP	MUP
Kennels and animal boarding					MUP	
Laundries and dry cleaning plants		C		C	C	C
Medical services- Clinics and laboratories	C	MUP	C		C	MUP
Medical services- Hospitals and extended care			C			
Medical services- Veterinary clinics and hospitals	C	C	C		C	C
Offices	A	A	A		A	A
Offices, temporary (Section 17.56.300)	\$	\$	\$	\$	\$	\$
Personal services	C	C	C	C	C	C
Public safety facilities	C	MUP	C	C	C	MUP
Public utility facilities	MUP	MUP	MUP	MUP	MUP	MUP
Repair and maintenance- Accessory to sales		C		C	C	C
Repair and maintenance- Consumer products	C		C	C		
Repair and maintenance- Vehicle (Section 17.56.320)	MUP	CUP	MUP	CUP	MUP	CUP

	Zone Districts					
Land Use Types	O	CMU	BP	PC	COM	TCC
Service Uses (continued)						
Service stations and full-service car wash establishments (Section 17.56.220)	MUP	MUP	MUP	MUP	MUP	MUP
Storage, accessory (Section 17.56.250)	MUP	MUP	MUP	MUP	MUP	MUP
Storage, mini-storage facilities (Section 17.56.260)	MUP		MUP		MUP	
Storage of petroleum products for on-site use	C	CUP	C	C	C	CUP
Storage yards and sales lots				MUP	MUP	
Transportation and Communications						
Antennas, communication facilities (Section 17.56.060)	\$	\$	\$	\$	\$	\$
Broadcasting studios	MUP	MUP	MUP	CUP	MUP	MUP
Pipelines and transmission lines	A	A	A	A	A	A
Transit stations and terminals	MUP	A	MUP	MUP	MUP	A
Vehicle storage	CUP		CUP	CUP	CUP	

Key to Permit Requirements	
Allowed use, zoning compliance required (Section 17.06.050)	A
Zoning Clearance required (Section 17.06.050)	C
Administrative Review Permit required (Section 17.06.050)	ARP
Minor Use Permit required (Section 17.06.050)	MUP
Conditional Use Permit required (Section 17.06.050)	CUP
Permit requirements set by Article 17.56	\$
Uses not allowed	

IV. PUBLIC/ QUASI-PUBLIC LAND USES



4.1 PUBLIC/QUASI-PUBLIC LAND USES INTRODUCTION

Placer Vineyards provides for a broad range of cultural, public/ quasi-public and religious uses, strategically located within the Placer Vineyards neighborhoods, Town and Village Centers and connected by local trails and bicycle paths. These areas provide for cultural activities that enrich the character and quality of the community in close proximity to where people live. Public/ Quasi-public land use designations in Placer Vineyards include Schools (ES/MS/HS), Library (L) and Fire stations (F) (Refer to the Placer County Code for their allowed uses.) Other land uses in Placer Vineyards are described in more detail in the PVSP including- Religious Sites (REL), a Corporation Yard (CY), Utility Substation (SS), Cemetery (C) and Transit Station (T).



Public/ Quasi-public Use Locations

4.2 PUBLIC/ QUASI-PUBLIC DEVELOPMENT STANDARDS

Table A-12 Public/ Quasi-Public Development Standards Table

	Schools (ES/MS/HS)	Religious Site (Rel)	Fire (F)	Library ⁽³⁾ (L)	Government/ Sheriff (Gov) ⁽³⁾	Transit Station (T)		
Minimum Parcel Size	ES- 10/ MS- 20/ HS- 40	Refer to Placer County standards for Houses of Worship in Section 17.56.100 of the Placer County Zoning Ordinance.	Total square footage TBD	25,500 sf	80,000 (Gov)/ 19,000 (Sheriff)	n/a		
Site Coverage	Building and site development to be established in coordination with school districts							
Maximum floor area ratio (FAR)			0.30	0.30	0.45	0.30		
Maximum site coverage			n/a	35%	35%	n/a		
Minimum Setbacks ¹								
Street frontage			25'	0'	0'	0'		
Adjacent to residential uses								
Side yard ²			15'	15'	15'	15'		
Rear yard ²			15'	15'	15'	15'		
Adjacent to all other uses								
Interior side yard ²			15'	15'	15'	15'		
Street side yard ²			15'	15'	15'	15'		
Rear yard setback ²			15'	15'	15'	15'		
Maximum Building Height			40'	45'	45'	30'		
Landscaping Requirements								
Landscape coverage			n/a	20%	20%	20%		
Side and rear yards adjacent to residential uses			10'	10'	10'	10'		
Side and rear yards adjacent to all other uses			5'	5'	5'	5'		
Minimum Parking Requirements			Refer to Table A-13 or the Placer County Zoning Ordinance					

	Cemetery (C)	Corporation Yard (CY)	Substation (SS)
Minimum Parcel Size	15 acres	15.8 acres	n/a
Site Coverage			
Maximum floor area ratio (FAR)	0.10	0.20	0.05
Maximum site coverage	n/a	n/a	n/a
Minimum Setbacks			
Street frontage	25'	25'	25'
Adjacent to residential uses			
Side yard	25'	25'	25'
Rear yard	25'	25'	25'
Adjacent to all other uses			
Interior side yard	15'	15'	15'
Street side yard	25'	25'	25'
Rear yard setback	15'	15'	15'
Maximum Building Height	30'	30'	30'
Landscaping Requirements			
Landscape coverage	n/a	n/a	n/a
Side and rear yards adjacent to public right-of-way	10'	10'	10'
Side and rear yards adjacent to residential uses	15'	0'	15'
Side and rear yards adjacent to all other uses	5'	0'	0'
Minimum Parking Requirements	Refer to Table A-13 or the Placer County Zoning Ordinance		

Note:

1. Where applicable, building overhangs, trellises, awnings and canopies may extend horizontally into the public right of way up to 6', providing a minimum of 8' vertical clearance and conformance with the California Building Code.
2. Where applicable, mechanical equipment may be located in the required side or rear yard provided that no structure or equipment occupies more than two hundred (200) square feet of the required yard area. Minimum setback of mechanical equipment shall be five (5) feet. Mechanical equipment should be screened and oriented away from public views, to the extent possible.
3. These facilities should front and placed at the build-to-line. See Figure 6.9.

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4.3 PUBLIC/ QUASI-PUBLIC LAND USES

ELEMENTARY SCHOOLS (ES)

Elementary schools serve kindergarden through fifth or sixth grade (depending on the school district). Elementary school sites are 10 acres in size and located within residential communities, adjacent to 6 acre neighborhood parks.

MIDDLE SCHOOLS (MS)

Middle schools serve grades sixth through seventh or eighth (depending on the school district). Middle schools are 20 acres in size and located within residential communities adjacent to 6 acre neighborhood parks on main collector streets.

HIGH SCHOOLS (HS)

The high school is planned to serve grades nine through twelve. It is located on 40 acres on Town Center Drive near Dyer Lane, adjacent to local commercial services, parks, offices, open space and other public facilities.

FIRE STATION (F)

Two fire stations and an administrative center are planned to serve the Plan Area. Fire stations have been distributed to provide adequate response times, and equipped and staffed as determined by the Placer County Fire Department.

GOVERNMENT (GOV)/ SHERIFF (PO)

A government office facility, housing administrative offices, and sheriff's substation, providing policing and public safety services are co-located in the Town Center.

LIBRARY (L)

A 25,500 square foot library facility is proposed to be located in the Town Center to serve the literary, educational and informational needs of the community.

TRANSIT CENTER (T)

A multi-modal transit station, serving as a passenger terminal and transfer station for public mass transit systems including future, potential Bus Rapid Transit (BRT) services along Watt Avenue.

RELIGIOUS SITES (REL)

Religious sites are designated for houses of worship, defined as religious organization facilities operated for worship or promotion of religious activities, including churches, synagogues, temples, etc. and also includes religious accessory uses on the same site, including, but not limited to living quarters for staff, child day care facilities where authorized by the same type of land use permit required for the house of worship itself. Other establishments maintained by the religious organizations, such as full-time educational institutions, hospitals and other potentially related operations (such as a recreation camp) are classified according to their respective activities.

CORPORATION YARD (CY)

A shared Corporation yard is provided to accommodate the following facility needs of the County:

- Special Districts building space and yard
- Fleet/ Transit Maintenance building space, yard and fueling facility
- Road maintenance yard
- Fire Department building space and training facility
- Public Works building space for traffic signal coordination

UTILITY SUBSTATION (SS)

The utility substation designation allows electrical substations, pumping stations, pressure regulation stations or similar facility required to serve the Plan Area.

CEMETERY (C)

Cemetery property designates land subdivided into cemetery lots offering burial plots or above ground interment. It may also include columbariums, mortuaries, animal cemeteries and full service funeral parlors and crematoriums.

TRANSIT STATION (T)

A multi-modal transit station, serving as a passenger terminal and transfer station for public mass transit systems including future, potential Bus Rapid Transit (BRT) services along Watt Avenue

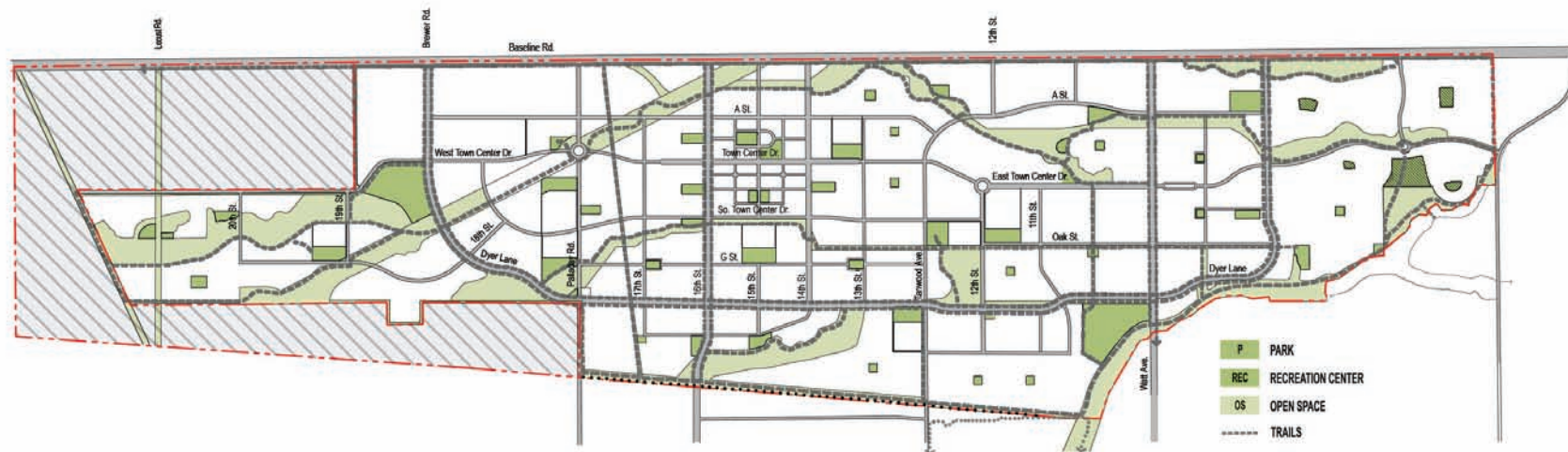
V. PARKS/RECREATION/OPEN SPACE



PLACER  VINEYARDS

5.1 PARKS/RECREATION/OPEN SPACE INTRODUCTION

The parks and open space system proposed for Placer Vineyards, incorporates over 930 acres of parks and open space to be used for active and passive recreation. Two (2) large community-sized parks are located at the west and east sides of the Plan Area. Eight (8) joint use neighborhood parks, forty three (43) neighborhood parks and mini parks, and several smaller gateway features are dispersed throughout the Plan Area. In addition, a series of trails linked to several east-west and north-south open space corridors provide neighborhood connections throughout the Plan Area.



Park and Open Space Locations

5.2 PARKS/RECREATION/OPEN SPACE LAND USES

PARKS (P)

A variety of park types and sizes are planned for Placer Vineyards. Each park is planned and designed with a range of park facilities depending on the character and size of the park. The three main park types include community parks (15+ acre parks), neighborhood parks (parks in the 2-6 acre range) and mini parks (parks of 1-2 acres). There are also two other special parks proposed- a Town Center park and Recreation Center, both located in the Town Center. The park types and their characteristics are described in Chapter III, "Land Use". Refer to Chapter VII, "Parks and Open Space" for park design guidelines. A Parks and Recreation Master Plan shall be required prior to the approval of tentative maps that identifies the specific facilities for each park site or recreation facility and includes detailed development plans.

COMMUNITY PARKS (CP)

The community parks are approximate 30 acre parks that provide active sports fields and passive recreation areas serving the community. The specific facilities for each park site will be identified in the Parks and Recreation Master Plan.

TOWN CENTER GREEN

The Town Center green is a 3.5 acre civic park located at the heart of the Town Center with features that are designed to complement the Town Center themes. Activities in the parks may include evening performances, farmer's market, public gathering areas, or ceremonies and informal uses such as picnic areas and children's play areas.

RECREATION CENTER (RC)

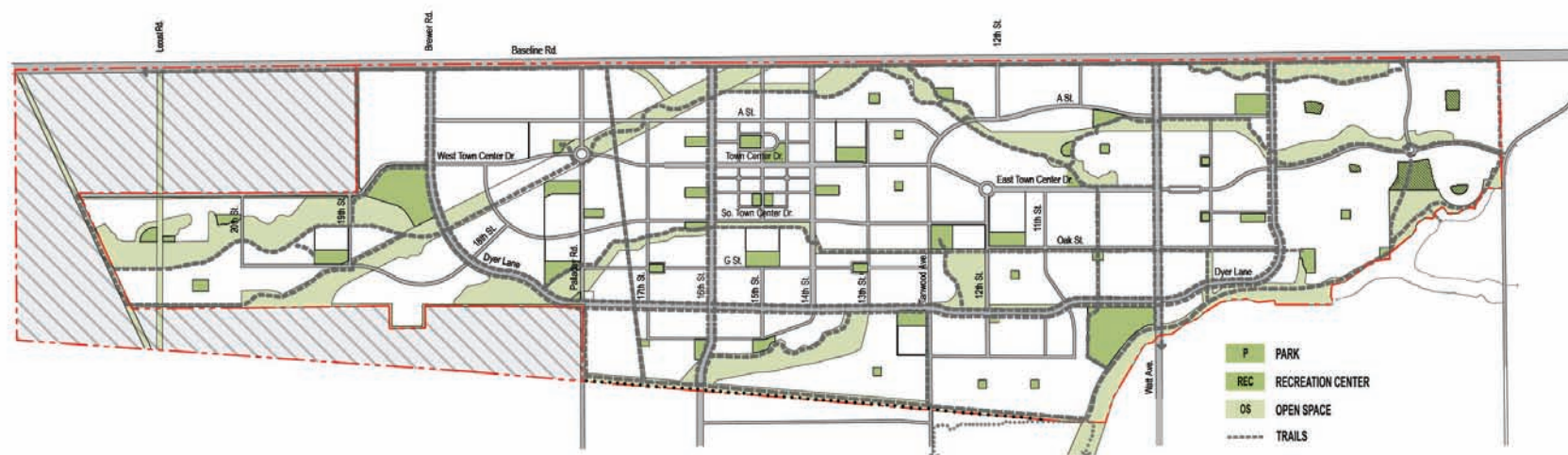
The Recreation Center is planned as a large 5 acre park with indoor and outdoor recreation including meeting rooms, fitness rooms and equipment, associated offices, and outdoor plazas and seating areas.

NEIGHBORHOOD PARKS (CP)

The neighborhood parks typically range from 5 to 15 acres in size. Neighborhood parks offer active sports fields and passive recreation areas serving the neighborhood area.

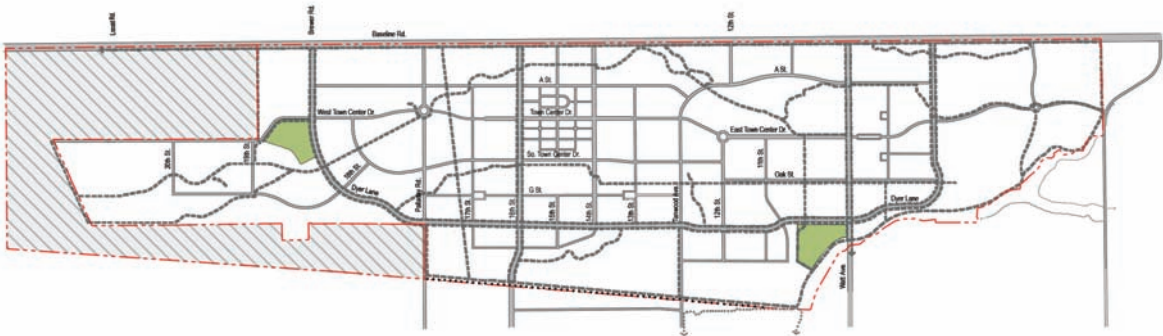
MINI PARKS (MP)

The mini parks (pocket parks) are typically 1 to 2 acres in size, but can be as small as 1/4 to 1/2 acre sites that provide outdoor play areas for the immediate area.



Park Locations

Community Park Locations



Neighborhood Park Locations



Mini Park Locations

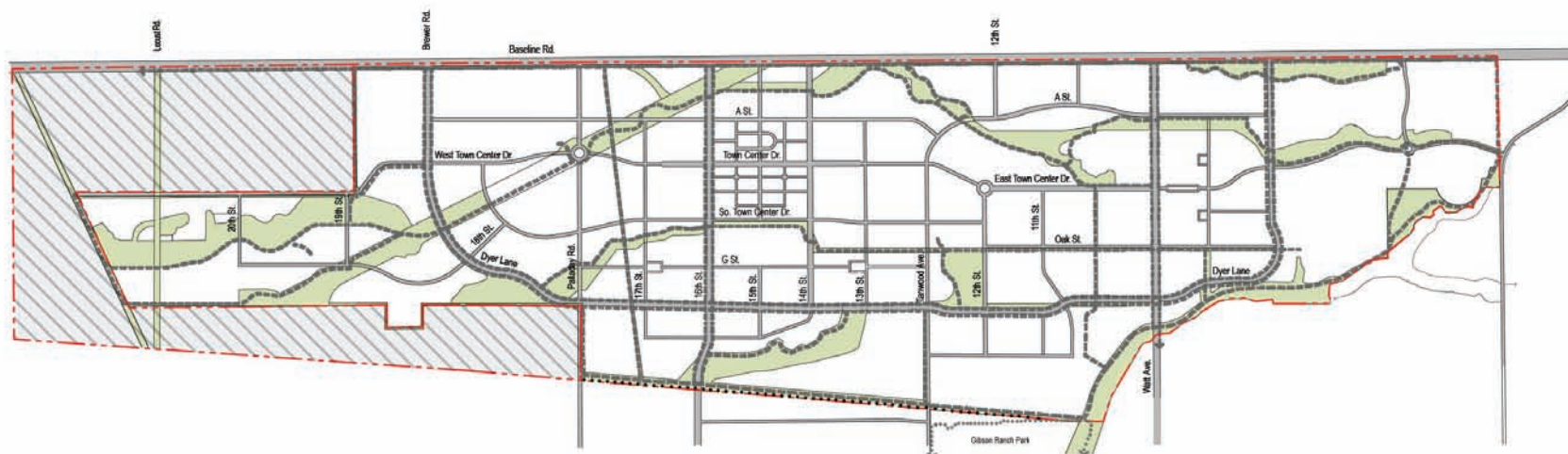


LAND USE AND DEVELOPMENT STANDARDS

OPEN SPACE (OS)

The Open Space (OS) land use designation is intended to protect the natural areas, creeks, wetlands, and specific tree groves within the Placer Vineyards Plan Area. Open spaces will include flood control and drainage channels, properties within power line easements and special setback areas such as along the Placer County Line. A total of 714 acres (approximately 14% of the Plan Area) is designated Open Space. This category provides open space amenities to the community and provide passive recreational opportunities. Open space guidelines and standards are also provided in Chapter VI: Community Design and Chapter VII: Public Utilities and Services.

Open space areas also includes natural and/ or passive open space recreation, including two large oak grove open space areas, landscaped corridors and landscaped areas. They do not include parks. Open Space areas may have compatible uses including trails, and other active and passive recreational uses, such as picnic areas, quiet seating areas and trail loops and their associated parking needs.



Open Space and Trail Locations

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VI. PARKING STANDARDS



6.1 PARKING STANDARDS

Table A-12: Parking Standards lists the minimum number of parking spaces required for different land uses.

RESIDENTIAL LAND USES

Residential uses shall provide off-street parking spaces at a ratio of two spaces per dwelling unit, except where the following table requires a different number or type of spaces for a specific use and except as provided below.

1. Any single-family dwelling or duplex dwelling that fronts on a road which is signed for “No Parking,” or which has an improved width of less than thirty-two (32) feet, shall provide four off-street parking spaces, exclusive of carports or garages.
2. Apartments shall be provided with one off-street parking space for studio and one-bedroom units, and with one additional off-street parking space for units with two bedrooms or more. In addition, one off-street guest parking space shall be provided for every four units in an apartment complex, rounded upward to the nearest whole number.

GARAGES AND DRIVEWAYS

Garages and driveways should be designed to reduce the visual scale and dominance of cars and garages on the street. Figure A.9 shows a variety of recommended garage and driveway configurations. In addition, the following standards shall be used in the design of garages and driveways.

Garages:

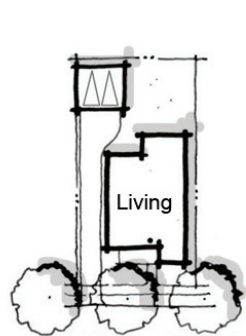
1. For lots on all streets, garage doors shall be located a minimum of 20’ from the back of the sidewalk to prevent cars from blocking walkways.
2. Garages shall be set back a minimum of 5’ behind the primary front facade for houses without porches or 3’ for houses with porches.
3. Garages on homes with side loaded swing-in garages may be set forward of the house but the garage side facing the street must meet the minimum front setback standard for the house.

Driveways:

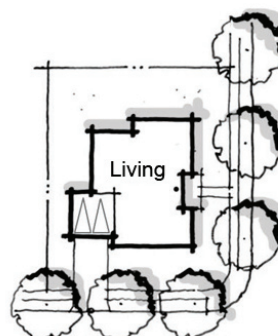
1. Driveways with two street entry/ exit points (i.e. circular drives) shall have a maximum width of 12’.
2. Driveways with one street entry/ exit point shall have a minimum width of 20’.
3. Driveways for single family homes shall not exceed 30’ in width within the front yard setback area, except for cul-de-sac lots. For cul de sac lots, driveways shall not exceed 20’ in width at the front yard setback.

6.2 PARKING AND GARAGE PROTOTYPES

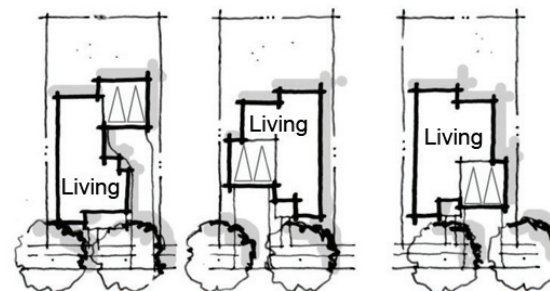
Figure A.17 Parking and Garage Conditions



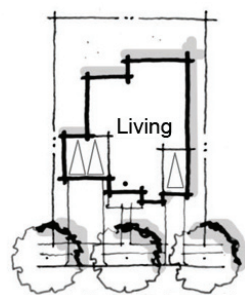
A. Detached Garage



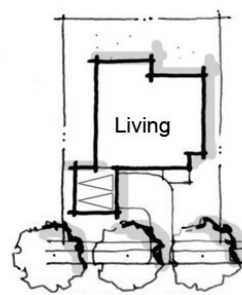
B. Corner Condition



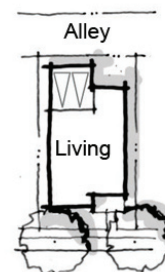
C. Recessed Garage



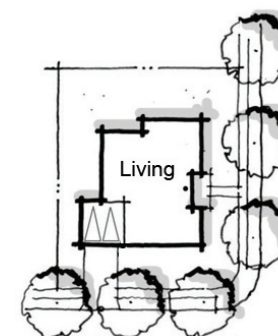
D. Split Garage



E. Swing-In Garage



F. Alley Loaded Condition



G. Front Facing Garage

LAND USE AND DEVELOPMENT STANDARDS

Table A-13 Parking Standards

Land Use Types	Minimum Number of Parking Spaces Required
Residential Uses	
Caretaker and employee housing	1 space per dwelling unit
Home occupations	See Section 17.56.120
Multi-family dwellings	Refer to size of dwellings below. *(Include 1 additional guest space for each 10 dwelling units)
Studio*	1.5 per unit + guest
1 Bedroom*	1.5 per unit + guest
2+ Bedroom*	2 per unit + guest
Residential accessory uses	No additional parking required
Residential care homes	1 per each 2 persons cared for
Secondary dwellings	See Section 17.56.200
Senior housing projects	See Section 17.56.210
Single family and 2 family	2 per unit
Temporary dwelling	2 per unit; 1 per 1,500 sf of use area
Retail Trade Uses	
Mobile home, vehicle and parts sales	1 per 1,500 sf of use area
Building material and hardware stores	1 per 1,500 sf of use area
Farm equipment and supplies sales	1 per 700 sf of use area
Fuel and ice dealers	1 per 1,500 sf of use area
Furniture, furnishings and equipment stores	1 per 1,500 sf of use area
Grocery and liquor stores	1 per 300 sf of use area
Mail order and vending	1 per 300 sf of use area
Nursery Products	1 per 1,500 sf of use area
Outdoor retail sales	As required by subsection (B)(1) for seasonal sales and as required for principal use for other outdoor sales
Restaurants and bars	1 per 100 sf of floor area
Restaurants, fast food	1 per 100 sf of floor area
Retail stores, general merchandise	1 per 300 sf of floor area
Roadside stands for agricult. products	1 per 100 sf of use area
Secondhand stores	1 per 300 sf of floor area
Shopping centers	1 per 200 sf of floor area

Land Use Types	Minimum Number of Parking Spaces Required
Service Uses	
Business support services	1 per 300 sf of floor area
Child day care	See Section 17.54.060(C)
Construction contractors	1 per 1,500 sf of use area
Correctional institutions	As required by MUP or CUP
Kennels and animal boarding	1 per 300 sf of floor area
Laundries and dry cleaning plants	1 per 1,500 sf of use area
Medical services- Doctor's offices, clinics	1 per 167 sf of floor area
Medical services- Laboratories	1 per 200 sf of floor area
Medical services- Hospitals and extended care	1 per bed
Medical services- Veterinary clinics and hospitals	1 per 300 sf of floor area
Offices	1 per 300 sf of floor area
Offices, temporary	1 per 300 sf of floor area
Personal services	1 per 300 sf of floor area
Public safety facilities	As required by MUP or CUP
Public utility facilities	1 per 1,500 sf of use area
Repair and maintenance- Accessory to sales	As required for retail use
Repair and maintenance- Vehicle	1 per 300 sf of floor area
Repair and maintenance- Consumer products	1 per 300 sf of floor area
Service stations	1 per service bay + 1 per gas service nozzle
Storage, accessory	As required for principal use
Storage of explosives	1 per 1,500 sf of use area
Storage of petroleum products for on-site use	As required for principal use
Storage yard and sales lots	1 per 1,500 sf of site area
Warehousing/ Mini-storage facilities	1 per 1,500 sf of use area
Waste disposal sites	As required by MUP or CUP

Table A-13 Parking Standards (Contd.)

Land Use Types	Minimum Number of Parking Spaces Required
Recreational, Education and Public Assembly Uses	
Campgrounds	See Section 17.56.080
Cemeteries (see also mortuaries, columbariums)	As provided by the internal circulation system
Community centers	1 per 4 fixed seats or 1 per 40 sf of multi-use floor area if no fixed seats
Houses of worship	1 per 4 fixed seats or 1 per 40 sf of multi-use floor area if no fixed seats and 1 per office or classroom
Libraries	1 per 500 sf of public use area
Membership organization facilities	1 per 100 sf of building area
Mortuaries, columbariums	1 per 1,500 sf of building area, 1 per 4 seats of assembly area
Museums	1 per 400 sf of use area
Outdoor commercial recreation	Determined by MUP or CUP
Golf driving range separate from course	1 per tee
Parks and playgrounds	1 per 10,000 sf of use area
Golf courses	4 per hole
Recreation and fitness centers	1 per 300 sf of floor area
Bowling alleys	4 per bowling lane
Health and athletic clubs	1 per 2 exercise machines, 1 per game court, 1 per 50 sf of open exercise area
Rural recreation	Determined by MUP or CUP
Schools- College and university	Determined by MUP or CUP
Schools- Elementary	1 per classroom and office, 1 per 10 assembly seats
Schools- Specialized education and training	Determined by MUP or CUP
Ski lift facilities and ski runs	1 per 300 sf of floor area
Sport facilities and outdoor public assembly	1 per 4 seats
Temporary events	Determined by MUP or CUP
Theaters and meeting halls	1 per 4 seats

Land Use Types	Minimum Number of Parking Spaces Required
Transient Lodging Uses	
Bed and breakfast	2 spaces plus 1 space per guest room
Hotels and motels	1 per guest room, 1 per 300 sf of office

Notes:

1. Single family and two family homes shall have two offstreet parking spaces in addition to two garage spaces. Alley load homes shall have two garage spaces and zero off street parking spaces.
2. For uses not shown in the above table, see Section 17.54.060 of the Placer County Zoning Code and/ or consult with the County Zoning Administrator.
3. For mixed-use projects, parking may be shared between uses. To facilitate shared parking, a parking analysis shall be prepared that lists project-specific assumptions for the mix of uses, outlines peak parking periods for each use type, and demonstrates that adequate parking will be provided. To relax the individual parking requirements, the County Planning Director shall determine that, based on the findings in the shared parking analysis, the entire project will not result in a parking shortfall.
4. New parking lots serving retail and office developments shall include tree plantings designed to result in 50% shading of parking lot surface areas within 15 years. These shading requirements shall apply to all impervious surfaces on which a vehicle can drive, including parking stalls and drives and maneuvering areas within the property. Placer County shall use the City of Sacramento Parking Lot Tree Shading Design and Maintenance Guidelines, June 17, 2003 edition, to implement these requirements.

PLACER VINEYARDS

Draft Placer Vineyards Specific Plan
Placer County, California

Appendix B: Recommended Plant List

Draft - March 2006



APPENDIX B: RECOMMENDED PLANT LIST

The list of plants below are recommended for use in Placer Vineyards within the design of its open space areas, landscape buffer corridors, streetscapes, gateways and parks. Plants similar to those listed in the table may also be substituted at the discretion of the County.

OPEN SPACE		
Botanical Name	Common Name	Distribution Percentage
Upland-Savanna		
TREES		
Aesculus californica	California Buckeye	15%
Quercus douglasii	Blue Oak	15%
Quercus lobata	Valley Oak	40%
Quercus wislizenii	Interior Live Oak	15%
Umbellularia californica	California Laurel	15%
		100%
SHRUBS		
Arctostaphylos sp	Manzanita	15%
Artemisia californica	California Sagebrush	10%
Ceanothus gloriosus	Point Reyes Creeper	30%
Ceanothus sp.	California Lilac	10%
Heteromeles arbutifolia	Toyon	20%
Rhamnus ilicifolia	Hollyleaf Redberry	15%
		100%
GROUND COVER		
Bromus carinatus	California Brome	15%
Hordeum brachyantherum	Meadow Barley	15%
Muhlenbergia rigens	Deergrass	40%
Nassella pulchra	Purple Needlegrass	15%
Lupinus polyphyllus	Blue Lupine	15%
		100%

RECOMMENDED PLANT LIST

Riparian Woodland (2- to 5-year event creek flow)		
TREES		
Acer negundo	Boxelder	5%
Alnus rhombifolia	White Alder	5%
Fraxinus latifolia	Oregon Ash	10%
Populus fremontii	Fremont Cottonwood	25%
Quercus lobata	Valley Oak	5%
Salix gooddingii	Goodding's Willow	15%
Salix lasiandra	Red Willow	15%
Salix hindsiana	Sandbar Willow	20%
		100%
SHRUBS		
Ceanothus gloriosus	Point Reyes creeper	20%
Cephalanthus occidentalis	Buttonbush	40%
Rosa californica	California Wild Rose	20%
Rubus ursinus	California Blackberry	20%
VINES		100%
Vitis californica	California Wild Grape	30%
Aristolochia californica	California Dutchman's Pipe	70%
		100%
GROUNDCOVER		
Artemisia californica	California Sagebrush	30%
Carex barbarae	Barbara Sedge	40%
Leymus triticoides	Creeping Wildrye	15%
Nassella pulchra	Purple Needlegrass	15%
		100%

Riparian-Wetland (<2-year event creek flow)		
TREES		
Alnus rhombifolia	White Alder	30%
Populus fremontii	Fremont Cottonwood	30%
Salix exigua	Sandbar Willow	40%
		100%
GROUND COVER		
Carex praegracilis	Clustered Field Sedge	10%
Equisetum hyemale	Horsetail	10%
Juncus effusus var. pacificus	Pacific Rush	30%
Juncus xiphioides	Iris-leaved Rush	30%
Scirpus acutus	Tule	20%
		100%

RECOMMENDED PLANT LIST

LANDSCAPE BUFFERS		
Botanical Name	Common Name	Distribution Percentage
TREES		
Aesculus californica	California Buckeye	15%
Cercis occidentalis	Western Redbud	10%
Platanus racemosa	Western Sycamore	20%
Cedrus deodar	Deodar Cedar	10%
Quercus douglasii	Blue Oak	10%
Quercus lobata	Valley Oak	35%
		100%
SHRUBS		
Arctostaphylos densiflora ‘Howard McMinn’	McMinn’s Manzanita	10%
Artemisia californica	California Sagebrush	15%
Ceanothus sp.	California Lilac	15%
Cephalanthus occidentalis	Buttonbush	15%
Cistus purpurea	Orchid Rockrose	10%
Cistus salvifolius	Sageleaf Rockrose	5%
Fremontodendron californicum	Common Flannel Bush	15%
Heteromeles arbutifolia	Toyon	15%
		100%
GROUNDCOVER		
Arctostaphylos ‘Emerald Carpet’	Emerald Carpet Manzanita	15%
Ceanothus gloriosus	Point Reyes Creeper	20%
Carpenteria californica	Bush Anemone	5%
Iris douglasiana	Douglas Iris	5%
Mimulus aurantiacus	Monkey Flower	10%
Muhlenbergia rigens	Deergrass	25%
Penstemon spp.	Penstemon	5%
Vitis californica	California Wild Grape	10%
Zauschneria californica	California Fuchsia	5%
		100%

STREETSCAPE		
Botanical Name	Common Name	Distribution Percentage
TREES		
Calocedrus decurrens	Incense Cedar	Large Screen Evergreen
Cercis occidentalis	Western Redbud	Flowering Accent Deciduous
Eucalyptus polyanthemus	Silver Dollar Gum	Large Canopy Evergreen
Pinus canariensis	Canary Island Pine	Large Canopy Evergreen
Cedrus deodar	Deodar Cedar	Large Canopy Evergreen
Platanus acerifolia	London Plane Tree	Large Canopy Deciduous
Pyrus calleryana	Flowering Pear	Accent Deciduous
Quercus douglasii	Blue Oak	Large Canopy Deciduous
Quercus pilustris	Pin Oak	Large Canopy Deciduous
Quercus rubra	Red Oak	Large Canopy Deciduous
Quercus suber	Cork Oak	Large Canopy Evergreen
Lithocarpus densiflora	Tanbark Oak	Large Canopy Evergreen
Tilia cordata	Little Leaf Linden	Large Canopy Deciduous
Zelkova serrata	Sawleaf Zelkova	Large Canopy Evergreen
		100%
SHRUBS		
Arctostaphylos spp.	Manzanita	
Artemisia californica	California Sagebrush	
Ceanothus spp.	California Lilac	
Cistus spp.	Rockrose	
Elaeagnus pungens	Silverberry	
Escallonia 'Fradesii'	Escallonia	
Fremontodendron californicum	Common Flannel Bush	
Juniperus spp.	Junipers dwarf varieties	
Rhaphiolepis indica	'Springtime' or 'Dancer' Indian Hawthorn	
Xylosma congestum	Xylosma congestum	
Ribes aureum	Golden Currant	

RECOMMENDED PLANT LIST

STREETSCAPE		
Botanical Name	Common Name	Distribution Percentage
VINES		
Clematis armandii	Evergreen Clematis	Train to Walls/Fences
Clytostoma callistegioides	Violet Trumpet Vine	Train to Walls/Fences
Hardenbergia violacea	Hardenbergia	Train to Walls/Fences
Lonicera japonica 'Halliana'	Hall's Honeysuckle	Train to Walls/Fences
Vitis californica	California Wild Grape	Train to Walls/Fences
GROUNDCOVER		
Jasminum	Jasmine	
Festuca arundinacea	Tall Fescue	
Hypericum calycinum	St. John's Wort	
Ceanothus gloriosus	'Point Reyes' Ceanothus	
Santolina chamaecyparissus	Lavender Cotton	
Verbena peruviana	Verbena	

GATEWAY ENTRIES		
Botanical Name	Common Name	Distribution Percentage
TREES		
Acer rubra	'October Glory' Maple	Accent Deciduous
Betula alba	White Birch	Accent Deciduous
Cinnamomum camphora 'Monum'	Camphor Tree	Large Canopy Evergreen
Cornus nuttallii	Pacific Dogwood	Accent Deciduous
Fraxinus uhdei	Evergreen Ash	Large Canopy Evergreen
Malus floribunda	Japanese Crabapple	Orchard Accent Deciduous
Prunus cerasifera	Flowering Cherry	Orchard Accent Deciduous
Pyrus calleryana	Flowering Pear	Orchard Accent Deciduous
Quercus rubra	Red Oak	Large Canopy Deciduous
Rhus lancea	African Sumac	Accent Evergreen
Sequoia sempervirens	Redwood	Large Screen Evergreen
Zelkova		
SHRUBS		
Arbutus unedo	Strawberry Tree/ Shrub	
Juniperus spp.	Junipers dwarf varieties	
Pennisetum setaceum 'Rubrum'	Purple Fountain Grass	
Raphiolepis indica	'Springtime' or 'Dancer' Indian Hawthorn	
VINES		
Clematis armandii	Evergreen Clematis	
Vitis californica	California Wild Grape	

RECOMMENDED PLANT LIST

GATEWAY ENTRIES		
Botanical Name	Common Name	Distribution Percentage
GROUND COVER		
Eschscholzia californica	California poppy	
Festuca arundinacea	Tall Fescue	Turf - limited accent areas
Lantana camara	Wild Lantana	
Lupinus polyphyllus	Blue Lupine	
Penstemon spp.	Penstemon	
Portulaca grandiflora	Rose Moss	
Salvia greatae	Lavender Sage	
Zauschneria californica	California Fuchsia	

PARKS		
Botanical Name	Common Name	Distribution Percentage
TREES		
Acer rubra	'October Glory' Maple	Accent Deciduous
Calocedrus decurrens	Incense Cedar	Large Screen Evergreen
Jacaranda mimosifolia	Jacaranda	Flowering Accent Deciduous
Maytenus boaria	Mayten Tree	Accent Evergreen
Sequoiadendron giganteum	Giant Sequoia	Large Screen Evergreen
Pistacia chinensis	Chinese Pistache	Large Canopy Deciduous
Quercus lobata	Valley Oak	Large Canopy Deciduous
Quercus suber	Cork Oak	Large Canopy Evergreen
Tilia cordata	Little Leaf Linden	Large Canopy Deciduous
Umbellularia californica	California Bay	Large Canopy Evergreen
SHRUBS		
Arctostaphylos spp.	Manzanita	
Ceanothus spp.	California Lilac	
Cistus spp.	Rockrose	
Arbustus unedo	Strawberry Tree/ Shrub	
Xylosma congestum	Xylosma	
GROUND COVER		
Arctostaphylos densiflora	Vine Hill Manzanita	
Ceanothus gloriosus	Point Reyes Creeper	
Eschscholzia californica	California poppy	
Dietes vegeta	Fortnight Lily	
Festuca arundinacea	Tall Fescue	Turf Areas
Lupinus polyphyllus	Blue Lupine	
Mahonia repens	Creeping Mahonia	

PLACER VINEYARDS

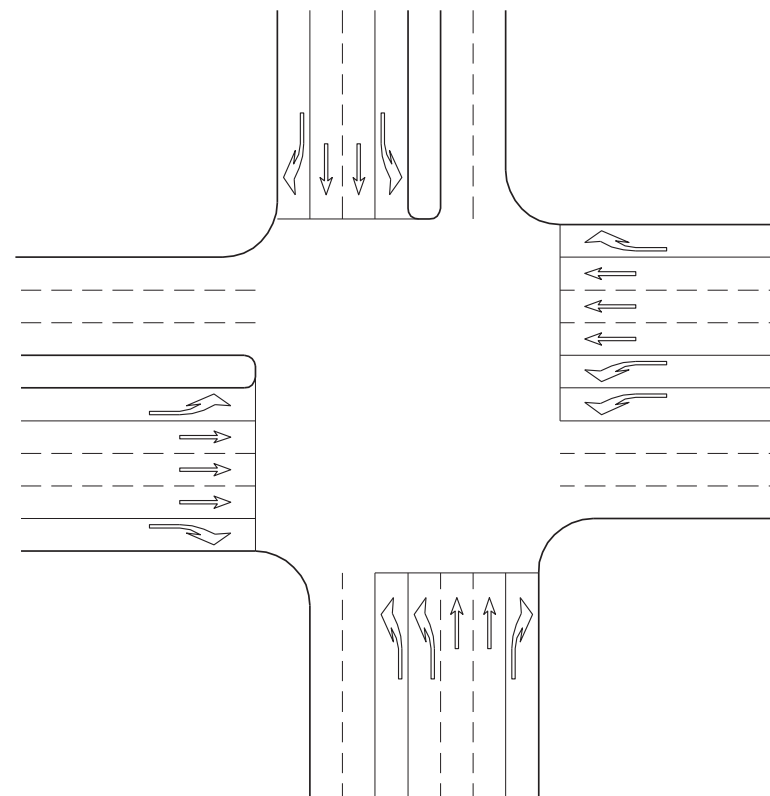
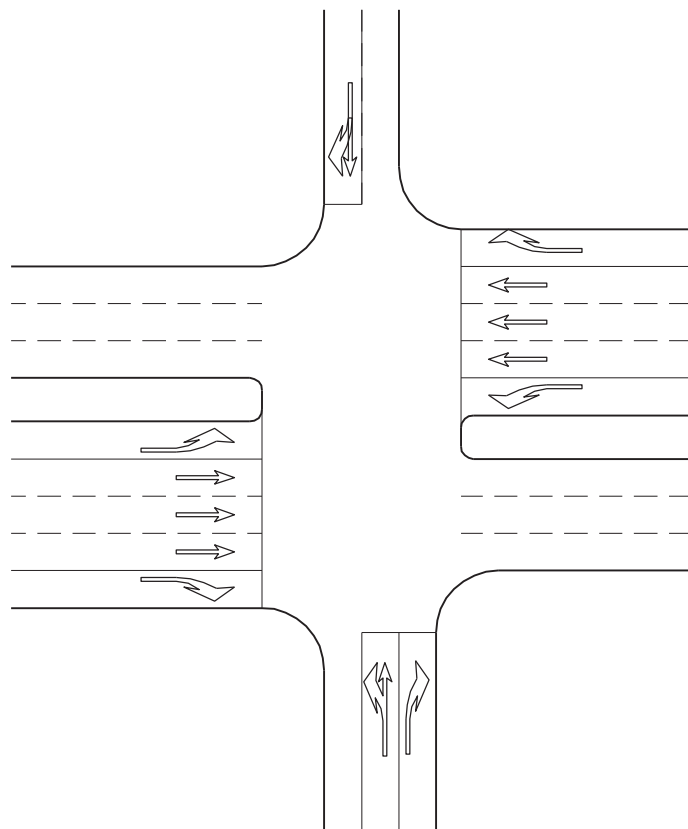
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Placer County, California

Appendix C: Traffic Intersection Designs

Draft - March 2006



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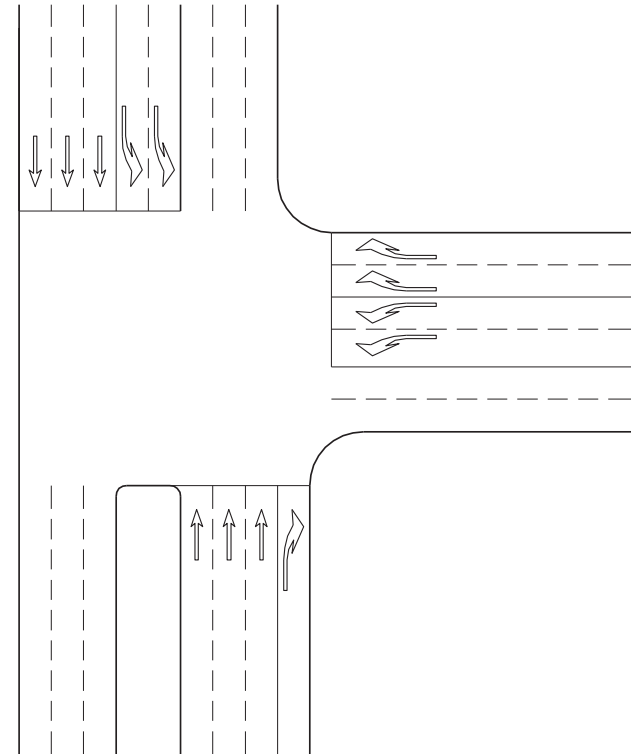
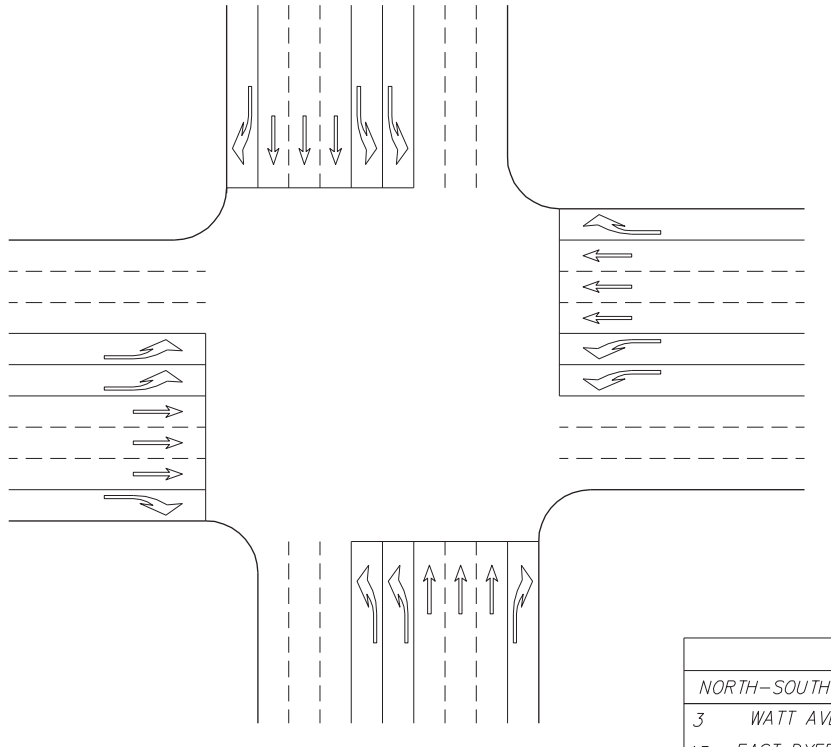


Intersection - TYPE A	
North-South Roadway	East-West Roadway
1 Locust Road	Base Line Road

Source: McKay & Soms

Intersection - TYPE B	
North-South Roadway	East-West Roadway
2 Brewer Road	Base Line Road

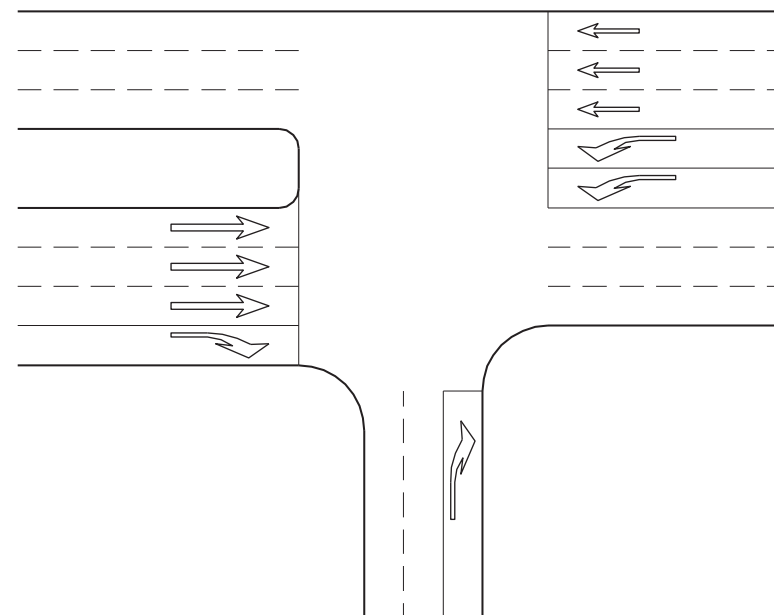
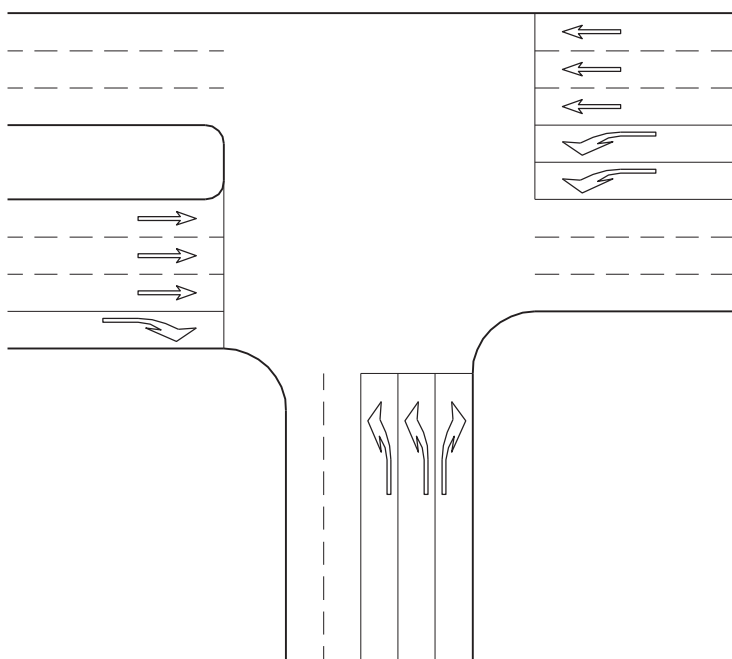
TRAFFIC INTERSECTION DESIGNS



Intersection - TYPE C	
North-South Roadway	East-West Roadway
3 Watt Avenue	Base Line Road
13 East Dyer Lane	Base Line Road
4 Fiddymment Road	Base Line Road
29 Watt Avenue	East/West Dyer

Source: McKay & Somsps

Intersection - TYPE D	
North-South Roadway	East-West Roadway
5 Watt Avenue	PFE Road

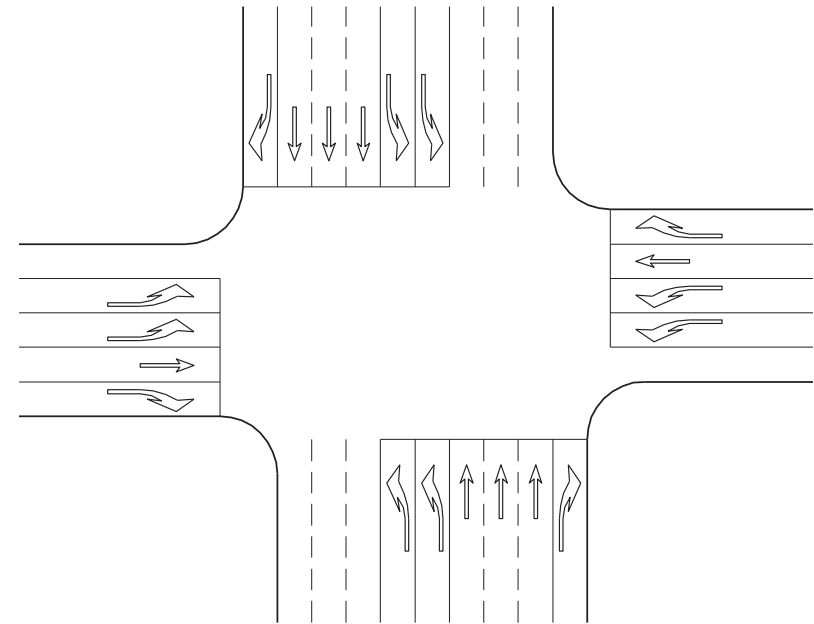
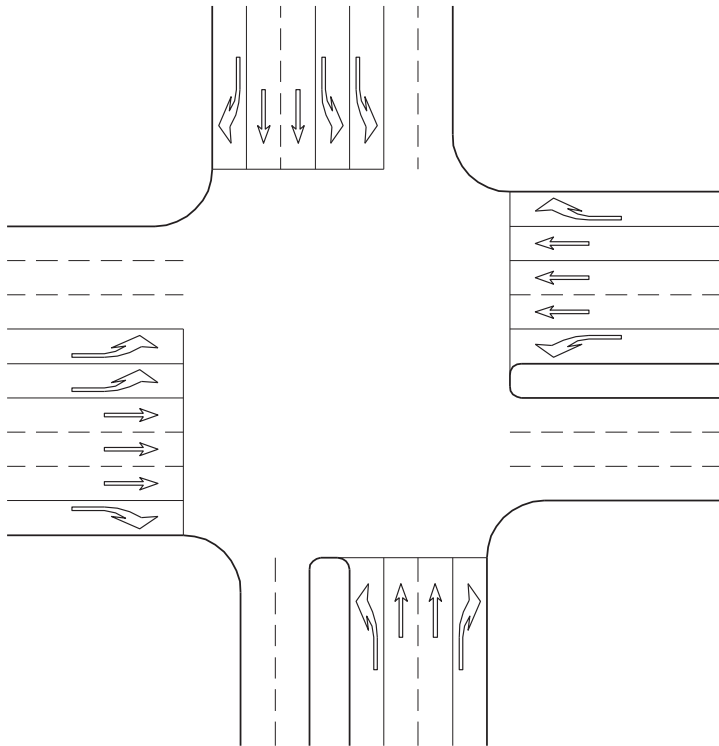


Intersection - TYPE E	
North-South Roadway	East-West Roadway
8 Palladay Road	Base Line Road
9 16th Street	Base Line Road
10 14th Street	Base Line Road
11 12th Street	Base Line Road

Source: McKay & Somps

Intersection - TYPE F	
North-South Roadway	East-West Roadway
12 11th Street	Base Line Road

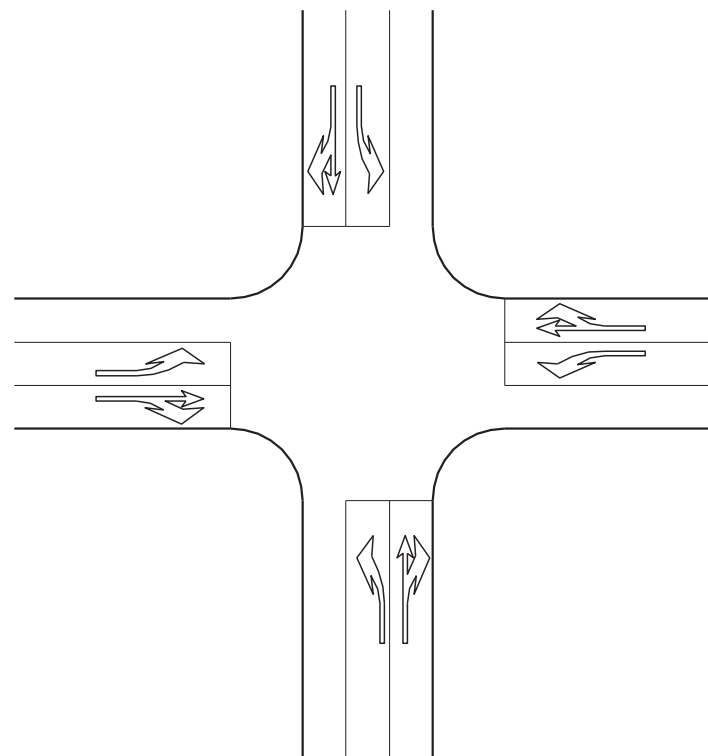
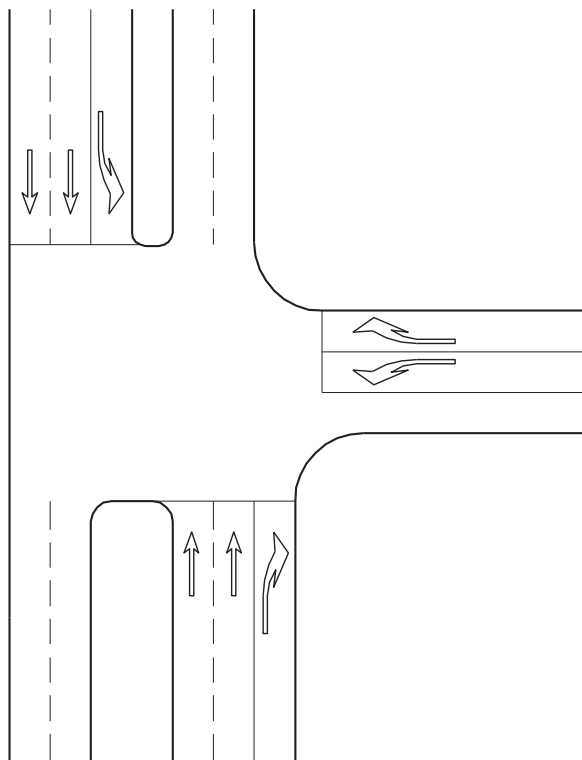
TRAFFIC INTERSECTION DESIGNS



Intersection - TYPE G	
North-South Roadway	East-West Roadway
14 9th Street	Base Line Road

Source: McKay & Soms

Intersection - TYPE H	
North-South Roadway	East-West Roadway
15 Watt Avenue	A Street

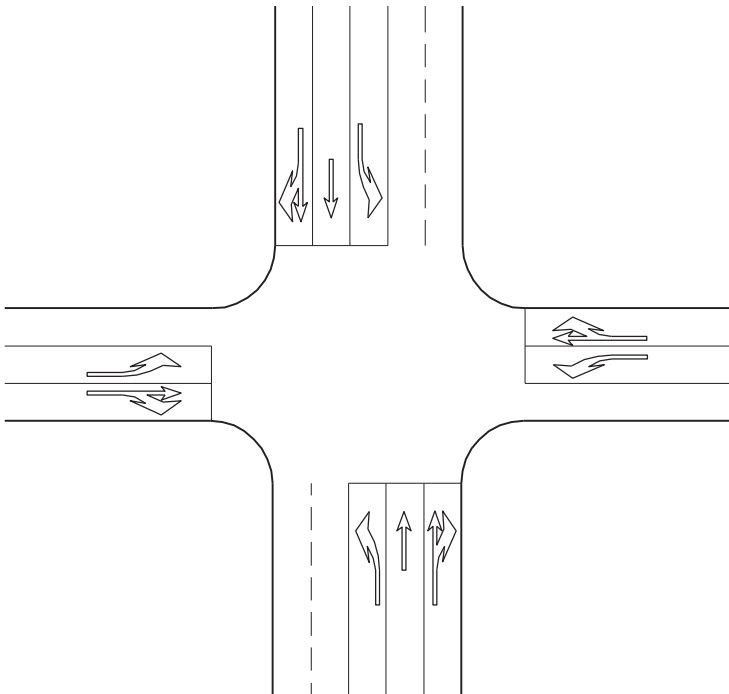


Intersection - TYPE I	
North-South Roadway	East-West Roadway
16 West Dyer Lane	A Street

Source: McKay & Soms

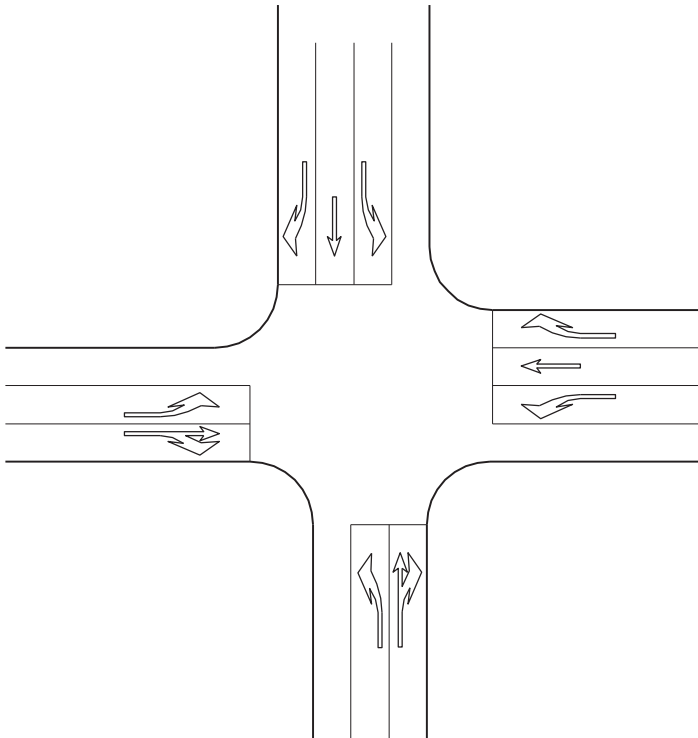
Intersection - TYPE J	
North-South Roadway	East-West Roadway
17 Palladay Road	A Street
19 16th Street	A Street

TRAFFIC INTERSECTION DESIGNS

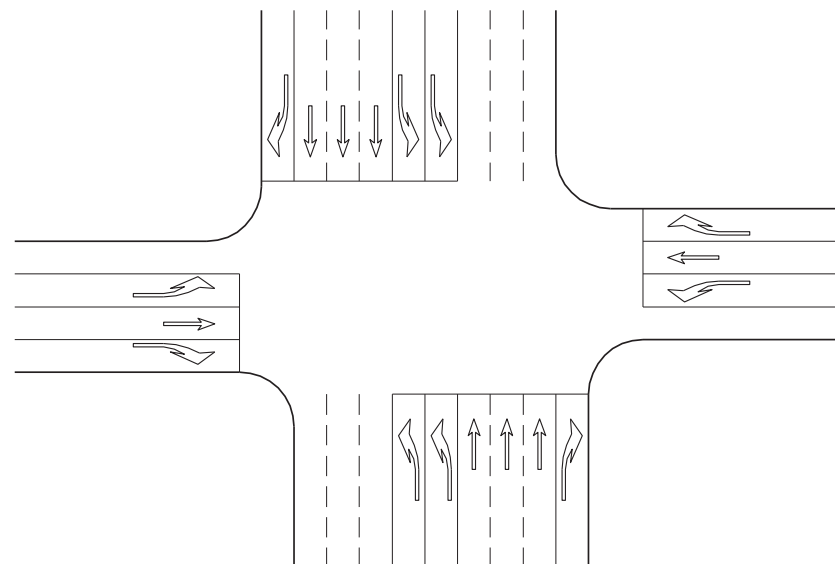
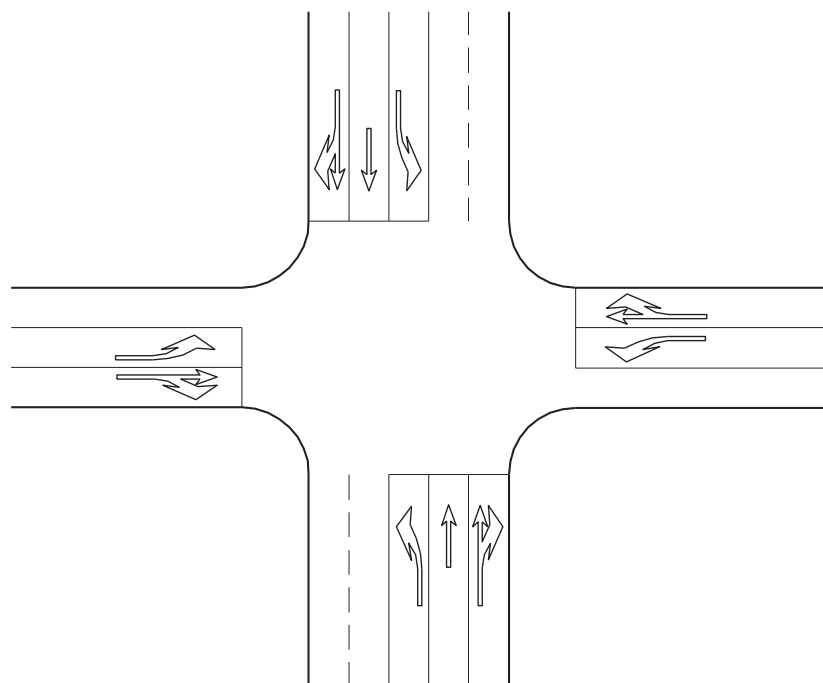


Intersection - TYPE K			
North-South Roadway		East-West Roadway	
23	East Dyer Lane	Town Center Drive	
18	16th Street	A Street	

Source: McKay & Soms



Intersection - TYPE L			
North-South Roadway		East-West Roadway	
20	12th Street	A Street	

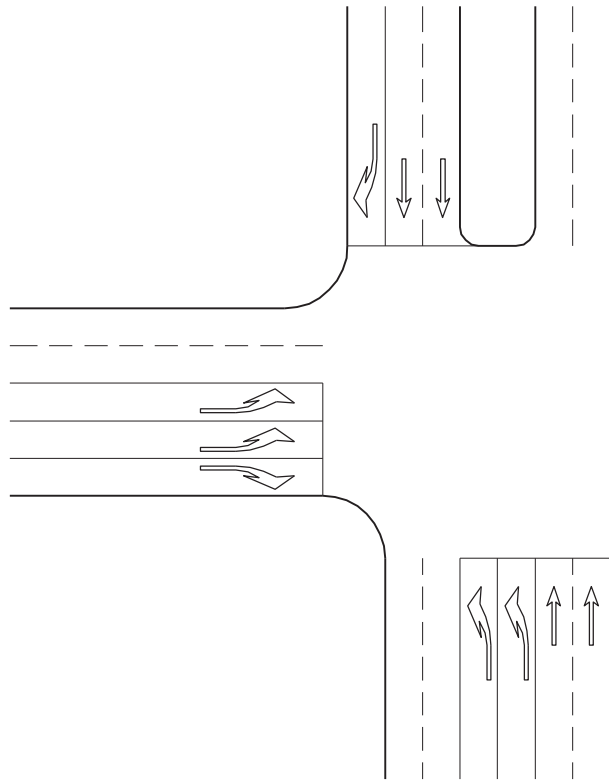


Intersection - TYPE M	
North-South Roadway	East-West Roadway
21 West Dyer Lane	W. Town Center Drive
28 West Dyer Lane	Tanwood Avenue

Source: McKay & Soms

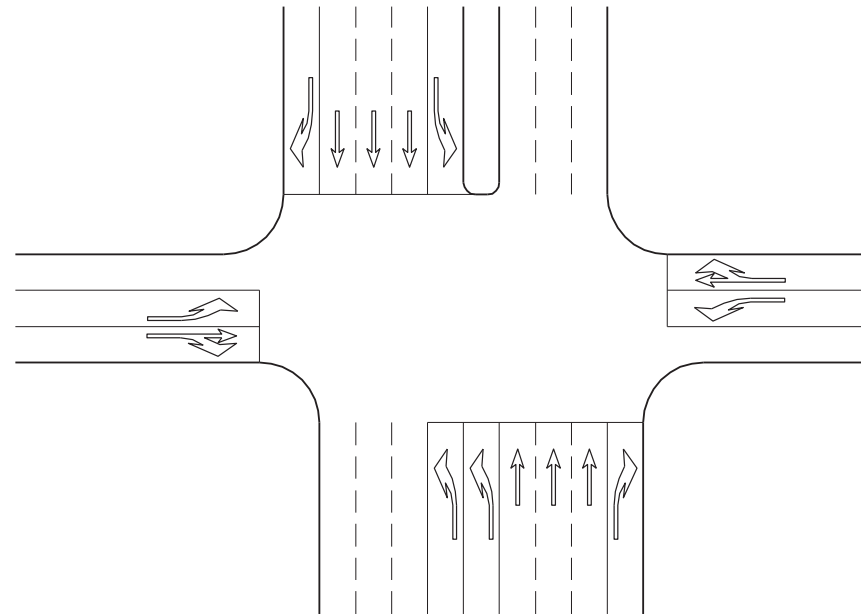
Intersection - TYPE N	
North-South Roadway	East-West Roadway
22 Watt Avenue	Town Center Drive

TRAFFIC INTERSECTION DESIGNS

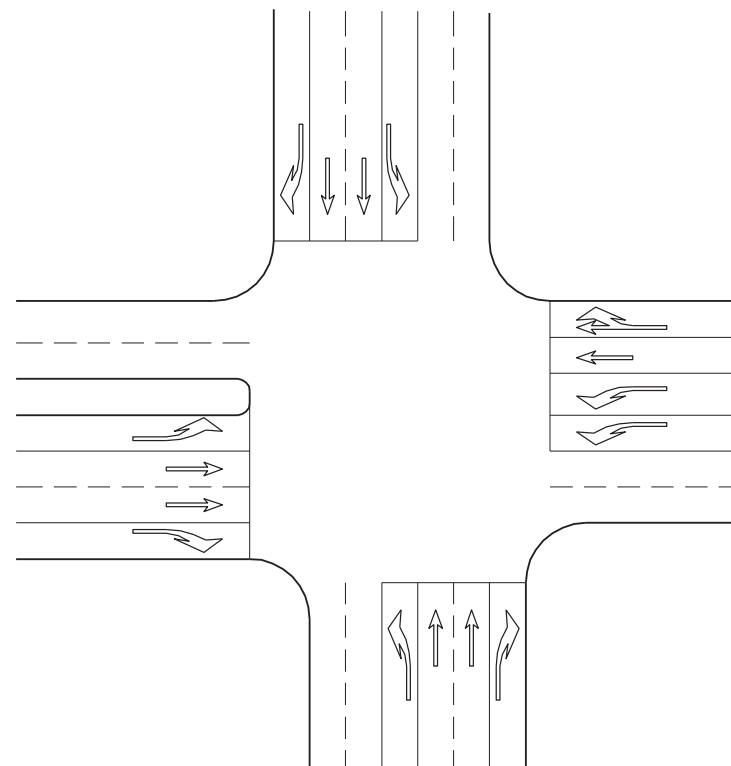
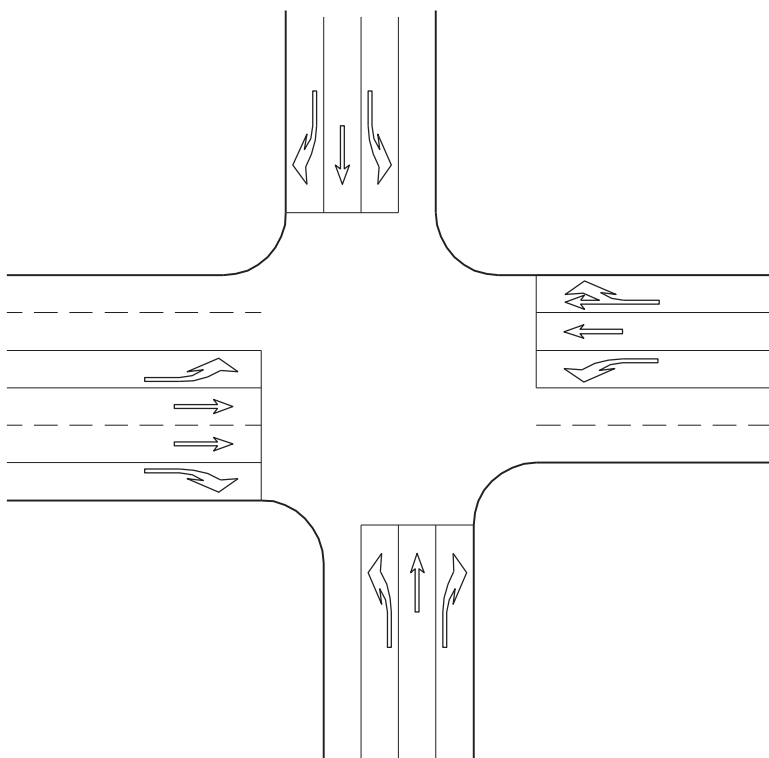


Intersection - TYPE O	
North-South Roadway	East-West Roadway
24 Walerga Road	Town Center Drive

Source: McKay & Soms



Intersection - TYPE P	
North-South Roadway	East-West Roadway
25 Watt Avenue	Oak Street



Intersection - TYPE Q	
North-South Roadway	East-West Roadway
26 18th Street	East Dyer Lane

Source: McKay & Soms

Intersection - TYPE R	
North-South Roadway	East-West Roadway
27 16th Street	West Dyer Lane